



PLANNING & ZONING COMMISSION
SAMUEL E. DEAN BOARD ROOM
BUTLER GOVERNMENT CENTER
1200 OAK BROOK ROAD
OAK BROOK, ILLINOIS
630-368-5000

Regular Meeting
Wednesday, July 1, 2026
6:30 PM

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF MINUTES
 - A. Regular Planning & Zoning Commission Meeting Minutes dated June 3, 2026
4. UNFINISHED BUSINESS
5. NEW BUSINESS
 - A. Amazon Project - Final Plat of Consolidation - Butterfield Road & Meyers Road
 - B. Certificates of Appropriateness - 3715 Spring Road - 2 Single-Family Homes
6. PUBLIC COMMENT
7. ADJOURNMENT

In accord with the provisions of the American with Disabilities Act, any individual who is in need of a reasonable accommodation in order to participate in or benefit from attendance at this public meeting should contact the Butler Government Center (Village Hall), at 630-368-5010 as soon as possible before the meeting date.

VILLAGE OF OAK BROOK
Planning & Zoning Commission

STAFF REPORT

DATE: June 23, 2026

CASE NO: 2026-7-SR-FP

DESCRIPTION: Final Plat – Plat of Consolidation to combine five (5) lots into one lot.

PETITIONER: Katie Jhanke Dale, DLA Piper LLC.
444 West Lake Street,
Chicago, IL 60606

ADDRESS: 2707, 2803, 2805, 2908, 2901, 2905 and 2907 Butterfield Road

EXISTING ZONING: ORA-1 Office-Research-Assembly District

ZONING/USE OF SURROUNDING PROPERTY:

North: Butterfield Road and unincorporated DuPage County improved with residential use, Oak Brook Towers

South: **R-2** Single-Family Residence District and improved with single family homes in the Ginger Creek Subdivision. The Reagan Memorial Tollway (I-88) is located immediately south of the subject property.

East: **ORA-1** Office-Research-Assembly District, improved with an office building.

West: **B-1** Local Shopping Center District improved with commercial mixed use shopping center (Oak Brook Promenade). Meyers Road is located immediately west of the subject property.

DISCUSSION: DLA Piper LLC. with the approval of the owners of the properties located at 2707, 2803, 2805, 2908, 2901, 2905 and 2907 Butterfield Road, has submitted a petition requesting approval of a final plat of subdivision for the approximately 27-acre site. The current lots are improved with office buildings and surface parking lots. The proposed consolidation, Butterfield Road Development Project Final Plat of Consolidation would create one lot for a 225,000 square-foot Amazon commercial retail building, and an out lot.

A Planned Development was recommended for approval for a commercial retail building by the Planning & Zoning Commission

**STAFF REPORT – 2901 BUTTERFIELD ROAD
FINAL PLAT – SUBDIVISION
CASE NO. 2026-7-SR-FP**

on May 13, 2026. The Planned Development application will be on the July 14, 2026 Board meeting for review.

STAFF COMMENTS:

- The properties were annexed into the Village of Oak Brook in May 1958 (S-4) and July 1959 (S-16).
- The 1990 Village of Oak Brook Comprehensive Plan identifies the land use for the subject property as Office-Research-Assembly District.
- The proposal to consolidate the five (5) existing lots creates one lot and an out lot.
- The proposal complies with the minimum lot size, lot frontage, and setback requirements for the ORA-1 Office-Research-Assembly District and no zoning variations are being requested for the plat of subdivision.
- The engineering review is attached, and all identified items must be addressed prior to recording of the plat.
- The side property lines abut Meyers Road, B-1 Local Shopping Center District, and ORA-1 Office-Research-Assembly District, while the rear property line abuts the Tollway and R-2 Single-Family Residential District.
- The proposed consolidated lot will have one address, 2901 Butterfield Road.
- Right-of-way (ROW) improvements: A signalized intersection on Butterfield Road is proposed to provide northern access to the site as part of the Amazon commercial retail Planned Development. In addition, the median on Meyers Road will be extended at the existing west access, restricting it to right-in/right-out movements only.

Additional application materials have been submitted by the petitioner to further discuss and explain the proposal. Please see the materials provided by the petitioner in the case file for a more detailed description of this request.

RESPONSIBILITIES OF HEARING BODIES:

The Planning & Zoning Commission has the responsibility to make a recommendation on this request for a final plat of subdivision and determine if it is in compliance with the Village's comprehensive plan, zoning ordinance and other applicable ordinances.

CONCLUSION:

Staff has reviewed the Subdivision Plat and recommends approval of the plat subject to final engineering review and approval.

If the Planning & Zoning Commission (P & Z) concurs with the staff recommendation and is of the opinion that the final plat of consolidation complies with the Village's comprehensive plan, zoning ordinance, and the subdivision regulations, I would ask that

**STAFF REPORT – 2901 BUTTERFILED ROAD
FINAL PLAT – SUBDIVISION
CASE NO. 2026-7-SR-FP**

the Commission provide an affirmative recommendation to approve the Plat of Consolidation subject to the following:

- 1) Final engineering review and approval.**
- 2) The addition of easements listed within the Engineering review, including the cross access easement.**
- 3) Recording of the document by Village Staff.**

Please contact me if you have any questions or need additional information.

Respectfully Submitted,



Rama Raman
Village Planner



VILLAGE OF OAK BROOK – SUBDIVISION REVIEW

PROJECT	CASE NO.	REVIEW NO.	STATUS
2901 Butterfield Road	SD 26 3	1	Not Approved

EZA Engineering received the following permit submittal documents on June 16, 2026:

DOCUMENT	PREPARED BY	SHEETS	DATE
Final Plat of Consolidation	Kimley Horn	2	4-17-26

The above documents have been reviewed for compliance with the Village Code of Oak Brook (Village Code) and the Village of Oak Brook Stormwater and Flood Plain Ordinance (VOBSFPO). Please consider the following comments:

GENERAL COMMENTS

1. Title 14-4-2-B.2 – It appears that additional PINs may require identification: 06-28-104-014, 06-28-202-010, and a portion of 06-28-202-011. Update the list of PINs and the legal description accordingly.
2. Title 14-4-2-C.1 – The proposed Lot 1 does not match the parcels (2, 3, 7, 10) shown on the ALTA/NSPS Land Title Survey. Please include these portions of the development site on the consolidation plat. This may mean this becomes a 2 lot subdivision plat instead of a consolidation plat.
3. Title 14-4-2-C.2 – The following easements may require modification/vacation (list is not necessarily comprehensive). Given the easements to be modified/vacated and the easements to be granted, consider showing all easements to be vacated on one sheet and all easements to be granted on a separate sheet.
 - Ingress & Egress Easement (R1977-100235)
 - Electric Easement (R1978-085455)
 - Electric Easement (R2022-049722)
 - 10’ Electric Easement (R2022-049723)
 - ComEd and Telephone Easement (R1972-028076)
 - ComEd and Telephone Easement (R1977-082588)
 - ComEd and Telephone Easement (R1977-082589)
 - ComEd and Telephone Easement (R1977-082590)
 - 25’ Telephone Easement (R1972-043504)
 - IDOT Drainage Improvements Easement (R1974-000004)
 - 114’ Stormwater Retention and Drainage Easement (R1972-000004)
4. Title 14-4-2-C.2 – Grant the following easements:
 - 20’x20’ (approximate) Sign Easement to the Village of Oak Brook - The west limit of the easement should match the west property line, so it would be trapezoidal in shape.
 - Cross-Access Easement for the property to the east. The easement would need to extend to the proposed driveways on Butterfield Road as well as the driveway on Meyers Road.
 - Stormwater Detention Easements
 - Floodplain Easement
 - Drainage Easement for key, proposed storm sewers
 - Sanitary Sewer Easement to the Flagg Creek Water Reclamation District

5. Title 14-4-2-C.4 – Village of Oak Brook municipal limits are on the north side of Butterfield Road. Show the municipal limits accurately tied to the lines of the subdivision by distances and angles.
6. Title 14-4-2.C.5 – Indicate all proposed lot numbers, as is necessary (see comment #1).
7. Title 14-4-2.C.9 – Add easement provisions for all easements to be granted. Work with Village staff for easement language.
8. Title 14-7-5 – Revise the Surveyor’s Certificate to remove the easement provisions as they do not appear to be necessary since public utility easements are not proposed to be granted. The legal description may require updating.
9. Title 14-7-5 – Add the **Drainage Certificate** to sheet 2.
10. Title 14-7-5 – Revise the **Plan Commission Certificate** to the **Planning and Zoning Commission Certificate**. Make the same revision in the body of the certificate.
11. Title 14-7-5 – Revise the Sanitary District Certificate to reference the **Executive Director of the Flagg Creek Water Reclamation District** instead of the Secretary of the _____ Sanitary District.
12. Title 14-7-5 – Add the **Certificate of County Engineer** to sheet 2.
13. Provide easement vacation certificates for ComEd, Nicor, Comcast, AT&T, and any other utility owners with facilities within existing public utility easements to be vacated.
14. Add a box for **Submitted By:** and include a link for the submitter’s name and mailing address.
15. Please note that the consolidation plat will not be eligible for engineering approval until the Preliminary Plan (currently under review under PD-26-1) is approved. An Engineer’s Opinion of Probable Construction Cost (EOPCC) will be required for all land improvements to be constructed. The EOPCC will be used as basis in calculating the required amount for the required letter of credit.
16. Title 14-4-4-A – Provide a Subdivision Improvement Agreement (SIA) for review.



ITEM 6.D.1.
BOARD OF TRUSTEES MEETING
SAMUEL E. DEAN BOARD ROOM
BUTLER GOVERNMENT CENTER
1200 OAK BROOK ROAD
OAK BROOK, ILLINOIS
630-368-5000

AGENDA ITEM
Board of Trustees Special Meeting
of
June 16, 2026

SUBJECT: Referral – Butterfield Road Development Project – Butterfield Road Properties at 2707, 2803, 2805, 2908, 2901, 2905 and 2907 – Final Plat of Subdivision

FROM: Rebecca Von Drasek, Development Services Director

BUDGET SOURCE/BUDGET IMPACT: N/A

RECOMMENDED MOTION: I move that the Village Board refer the request for a preliminary and final plat to the Planning & Zoning Commission for review and recommendation.

Background/History:

DLA Piper LLC. with the approval of the owners of the properties located at 2707, 2803, 2805, 2908, 2901, 2905 and 2907 Butterfield Road, has submitted a petition requesting approval of a final plat of consolidation for the approximately 27-acre site. The current lots are improved with office buildings and surface parking lots. The proposed consolidation, Butterfield Road Development Project Final Plat of Consolidation would create one lot for a 225,000 square-foot Amazon commercial retail building, and an outlet.

A Planned Development was recommended for approval for a commercial retail building by the Planning & Zoning Commission on May 13, 2026. The Planned Development application will be on the July 14, 2026 Board meeting agenda for review.

Several additional documents have been included with this referral to provide the Board with more specific information related to the request.

Recommendation:

Staff recommends that the Village Board refer the Final Plat of Consolidation to the Planning & Zoning Commission (P&Z) for public hearing, review, and recommendation.

Attachments:

1. Exhibits - BOT 6-16-26



BUTLER GOVERNMENT CENTER
1200 OAK BROOK ROAD
OAK BROOK, ILLINOIS 60523

June 11, 2026

Dear Resident:

The Oak Brook Planning & Zoning Commission and the Village Board will be considering a final plat of consolidation.

MEETING DATE AND INFORMATION:

Planning & Zoning Commission6:30 p.m., Wednesday, July 1, 2026

Board of Trustees Meeting..... 7:00 p.m., Tuesday, July 14, 2026***

*** Pending P&Z

The application has been filed by: Katie Jahnke Dale

DLA Piper LLC
Chicago, IL

The properties are located at: 2707/2803/2805/2809/2901/2905/2907
Butterfield Road

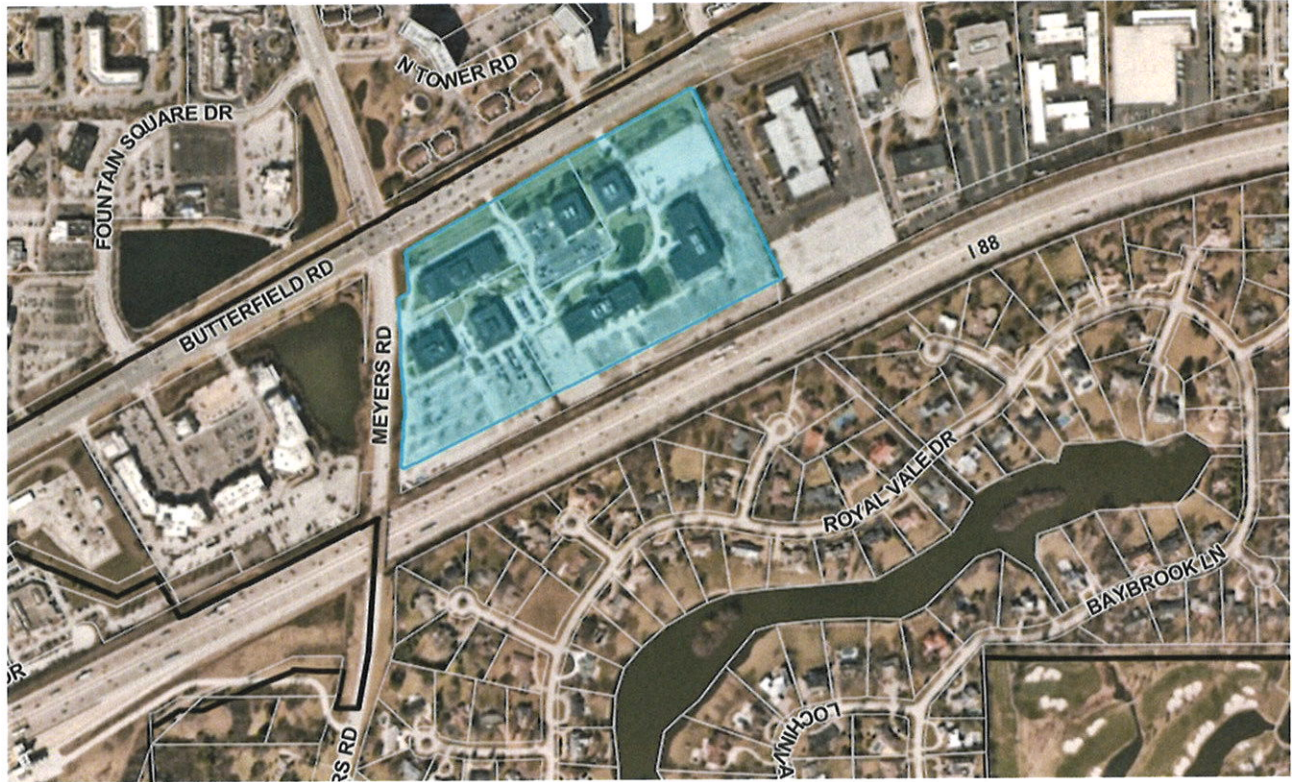
Relationship of applicant to property: Agent

DLA Piper LLC. with the approval of the owners of the properties located at 2707, 2803, 2805, 2809, 2901, 2905 & 2907 Butterfield Road, has submitted a petition requesting approval of a final plat of consolidation for the approximately 27-acre site. The current lots are improved with office buildings and surface parking lots. The proposed consolidation, Butterfield Road Development Project Final Plat of Consolidation would create one lot for a 225,000 square-foot Amazon commercial retail building.

For more detailed information of the request, please contact the Development Services Department at 630-368-5103 between 8 AM-4 PM, Monday through Friday, except for holidays.

Sincerely,

Rebecca Von Drasek
Development Services Director



*Note: The map provided is only an approximation of the area in question and is intended to be used only as a visual aid to determine your relationship to the property.

The Village of Oak Brook, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting facilities, contact the Village ADA Coordinator at 630-368-5010 as soon as possible before the meeting date.

All meetings are held in the Samuel E. Dean Board Room of the Oak Brook Village Hall, Butler Government Center located at 1200 Oak Brook Road (31st Street) and Spring Road, Oak Brook, Illinois.



Record No: SD-26-3

Subdivision Application

Status: Active

Submitted On: 4/23/2026

Primary Location

2901 BUTTERFIELD RD
OAK BROOK, IL 60523

Owner


INLAND 2901 BUTTERFIELD
P O BOX 3666 OAK BROOK
, IL 60622

Applicant

 Katie Jahnke Dale

 444 West Lake Street
Chicago, IL 60606

Project Information

Subdivision Type*

Final Plat of Consolidation and/or Plat of
Vacation

Subdivision Title*

Amazon Retail, LLC

Date Filed*

04/24/2026

Village Code Info 

**Number of Street Frontages for Public Hearing
Signs***

2



**General Location and Legal Address of Property to
be Subdivided***

Commercial

**Are you seeking any variation (relief) to the
subdivision regulations?***

No

If YES, list the specific section in the Subdivision Regulations and attach a detailed explanation of the relief you are seeking:

Relationship of Applicant to Property Owner*

Agent

Owner of Record*

Inland 2905 & 2907 Butterfield Road
L.L.C. and Inland 2901 Butterfield Road
L.L.C.

Phone*



Address*

210 Skokie Valley Rd. Suite A

City, State, Zip*

Highland Park, IL 60035

Is the property in Trust?*

No

I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief. I (we) give permission to the Village to install public hearing sign(s) on the lot frontages of the above subject property as described in the Village Code. In addition to the above fees, applicant agrees to reimburse the Village for publication costs within 30 days of billing.*

Katie Jahnke Dale
Apr 23, 2026

OWNERS AFFIDAVIT FOR SUBDIVISIONS OF NOT MORE THAN FIVE (5) LOTS This plat contains the entire contiguous undeveloped land area in which I have any interest.*

Katie Jahnke Dale
Apr 23, 2026

Sizing by Land Use Category

Number of Lots by Type*

Commercial

Number of Lots*

5

Number of Acres by Type*

Commercial

Number of Acres*

2.92

Number of Square Feet by Type*

Commercial

Number of Square Feet*

127195

**Application for Planned Development
Butterfield Road Retail Development
Village of Oak Brook, Illinois
Updated: April 20, 2026**

Project Narrative

Amazon Retail, LLC (the “**Applicant**”) seeks approval of a planned development to authorize the redevelopment of the approximately 27-acre site generally located at 2901 Butterfield Road (the “**Property**”). The Applicant proposes to construct a one-story, approximately 225,000 square-foot commercial retail building served by 871 accessory parking spaces and 9 loading docks (the “**Amazon Retail Building**”). The 27-acre development includes an area for a future 1.70 acre outlot to be subdivided at a later date (the “Future Outlot”). The Future Outlot will be located north and east of the proposed site of the Amazon Retail Building. The proposed development includes two large stormwater management areas and significant open space, buffering the retail buildings from surrounding roadways.

The proposed Amazon Retail Building will provide a wide selection of products, including groceries and general merchandise, with accessory services and, possibly, dining locations for food prepared and sold on-site. The Amazon Retail Building will offer in-store shopping as well as fulfillment of individual online retail orders for pickup or local delivery, meeting consumer demand for online ordering without compromising an in-store customer experience.

Ingress and egress to the Amazon Retail Building has been carefully planned to enhance safety and coordinate in-store shopping, delivery pickup, and merchandise deliveries. In-store customers will access the Property from Butterfield Road and park on the north side of the building and enter through the north entrance. Customers collecting online orders will use parking spaces dedicated to customer pickup along the building’s western façade. The site plan dedicates space along the southern façade of the Amazon Retail Building for third-party delivery drivers, who will enter and leave that parking area via a designated route to and from County Road 25. This separation of uses promotes safe traffic flow and facilitates easy movement of merchandise from the store to waiting flex drivers. Trucks will enter and leave the site via a modified right-in/right-out intersection with Butterfield Road located at the western end of the Property.

Inland 2901 Butterfield Road, L.L.C.
Inland 2905-2907 Butterfield Road, L.L.C.
2901 Butterfield Road
Oak Brook, Illinois 660523

February 4, 2024

Planning & Development Department
Village of Oak Brook
1200 Oak Brook Road,
Oak Brook, IL 60523

RE: Owner Authorization to Submit Development Plans to the Village of Oak Brook for the addresses 2905 and 2907 Butterfield Road, Oak Brook, IL 60523 (“2905-2907 Property”) and 2901 Butterfield Road, Oak Brook, IL 60523 (“2901 Property”). The 2905-2907 Property and the 2901 Property are collectively referred to as the “Property”.

Dear Village of Oak Brook,

Inland 2905-2907 Butterfield Road, L.L.C., a Delaware limited liability company, owner of the 2905-2907 Property and Inland 2901 Butterfield Road, L.L.C., a Delaware limited liability company, owner of the 2901 Property (collectively referred to as the “Owners”) hereby grant to GTZ Properties, acting as authorized agent on behalf of Oakbrook TH LLC, an Illinois limited liability company, the contract purchaser of the Properties (the “Contract Purchaser”), the authority to submit any applications to the Village of Oak Brook for approval as needed for the proposed development, provided however, this authorization does not permit nor extend to any application or action taken by or on behalf of Contract Purchaser which may be binding on the Property or the Owners at any time prior to the Contract Purchaser acquiring title and ownership of the Property.

Respectfully Submitted,

Inland 2905 & 2907 Butterfield Road L.L.C, a
Delaware limited liability company

By: Illinois Transactions Group, LLC, a Delaware
limited liability company, its sole member

By: 
Cathleen M. Hrtanek, President

Inland 2901 Butterfield Road L.L.C, a
Delaware limited liability company

By: Illinois Transactions Group, LLC, a Delaware
limited liability company, its sole member

By: 
Cathleen M. Hrtanek, President

CERTIFICATION

Surrounding Property Owners

I (we) certify that the names and addresses of all the surrounding property owners including mailing labels submitted with this application are located within a minimum distance of 250 feet in all directions from the perimeter of the subject property and that the number of feet occupied by all public roads, streets, alleys, and public ways has been excluded in computing the 250-foot requirement.

Said names and addresses are as recorded in the office of the County Recorder of Deeds (or the Registrar of Titles of the County) and as appear from the authentic tax records of this County. The property owners as listed have been obtained from the Township Assessors office within 30 days of the filing of this application.

The surrounding property owners list as submitted herewith and supporting attachments are true to the best of my (our) knowledge and belief.

I (we) give permission to the Village to install public hearing sign(s) on the lot frontages of the subject property as described in the Village Code. In addition to the required application fees, applicant/owner agrees to reimburse the Village for publication costs, recording fees, and any other associated costs or fees within 30 days of billing.

Inland 2905-2907 Butterfield
Road, L.L.C.

Inland 2901 Butterfield Road, L.L.C.

Printed Name of Property Owner

Amazon Retail, LLC

Printed Name of Applicant

[Redacted Signature]

5/6/26

Signature of Owner's Agent Date

[Redacted Signature]

5/6/26

Signature of Applicant's Agent Date

BILL TO INFORMATION:

Sacred Properties

Print Name/Company

Susan March

Print Contact Person Name

847-298-1122

Contact Phone

8745 W. Higgins Rd Suite 200 Chicago, IL 60631
Address To be Billed

susanmarch@sacredprop-
Alternate Phone Email erties.com

NOTE: If the applicant/owner has not complied with these requirements and the Surrounding Property Owners List is incomplete and notification has not been sent to a neighboring property owner within the 250-foot requirement less than 10 days prior to the scheduled Planning & Zoning Commission meeting, the hearing on this matter will be postponed to the next regular P&Z meeting, or until such time as a completed list of all neighbors within the 250-foot requirement has been submitted and have been sent proper notification as noted.

SUBJECT PROPERTY VERIFICATION

(Complete a separate form for each P.I.N.)

1. Permanent Index Number (P.I.N. from Real Estate Tax Bill): 06-28-104-009
2. Common Address: 2707 BUTTERFIELD RD., OAK BROOK IL 60523
3. Provide the Legal Description for each lot as noted on the Plat of Survey as an attachment.
4. Provide the proposed Legal Description for each lot as an attachment.
5. Email the Current and Proposed Legal Description in a Word document to cchiarelli@oak-brook.org

The Permanent Index Number, Common Address and Legal information provided has been verified as follows:

06-28-104-009, 2707 BUTTERFIELD RD., OAK BROOK IL 60523

DuPage County Records/Research Room At: 630-407-5401 Contact Person:

Katie Jahnke Dale

Only First name of Contact is required.

Date called:

I verify that the information provided above is accurate.

Katie Jahnke Dale

Printed Name


Signature

Date

4/23/2026

Relationship to Applicant:

Agent

LEGAL DESCRIPTION

PARCEL 1: LOTS 1 AND 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AS DOCUMENT NUMBER R76-78775 IN DUPAGE COUNTY, ILLINOIS.

SUBJECT PROPERTY VERIFICATION

(Complete a separate form for each P.I.N.)

1. Permanent Index Number (P.I.N. from Real Estate Tax Bill): 06-28-202-020
2. Common Address: 2803 BUTTERFIELD RD., OAK BROOK IL 60523
3. Provide the Legal Description for each lot as noted on the Plat of Survey as an attachment.
4. Provide the proposed Legal Description for each lot as an attachment.
5. Email the Current and Proposed Legal Description in a Word document to cchiarelli@oak-brook.org

The Permanent Index Number, Common Address and Legal information provided has been verified as follows:

06-28-202-020, 2803 BUTTERFIELD RD., OAK BROOK IL 60523

DuPage County Records/Research Room At: 630-407-5401 Contact Person:

Katie Jahnke Dale

Only First name of Contact is required.

Date called:

I verify that the information provided above is accurate.

Katie Jahnke Dale

Printed Name


Signature

Date

Relationship to Applicant:

Agent

LEGAL DESCRIPTION

PARCEL 1: LOTS 1 AND 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AS DOCUMENT NUMBER R76-78775 IN DUPAGE COUNTY, ILLINOIS.

SUBJECT PROPERTY VERIFICATION

(Complete a separate form for each P.I.N.)

1. Permanent Index Number (P.I.N. from Real Estate Tax Bill): 06-28-104-013
2. Common Address: 2901 BUTTERFIELD RD., OAK BROOK IL 60523
3. Provide the Legal Description for each lot as noted on the Plat of Survey as an attachment.
4. Provide the proposed Legal Description for each lot as an attachment.
5. Email the Current and Proposed Legal Description in a Word document to cchiarelli@oak-brook.org

The Permanent Index Number, Common Address and Legal information provided has been verified as follows:

06-28-104-013, 2901 BUTTERFIELD RD., OAK BROOK IL 60523

DuPage County Records/Research Room At: 630-407-5401 Contact Person:

Katie Jahnke Dale


Only First name of Contact is required.

Date called:

I verify that the information provided above is accurate.

Katie Jahnke Dale

Printed Name


Signature

Date

4/23/2026

Relationship to Applicant:

Agent

PARCEL 6: LOTS 2 AND 3 IN OAK BROOK INTERNATIONAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1995 AS DOCUMENT NO. R95-072664, (EXCEPTING THEREFROM THAT PART OF LOT 3 DESCRIBED AS BEGINNING AT THE MOST NORTHWEST CORNER OF SAID LOT 3; THENCE NORTH 87 DEGREES 10 MINUTES 30 SECONDS EAST ALONG A NORTH LINE OF SAID LOT 3 A DISTANCE OF 10.90 FEET; THENCE SOUTH 00 DEGREES 14 MINUTES 08 SECONDS WEST A DISTANCE OF 204.16 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 (ALSO BEING THE EAST LINE OF ILLINOIS STATE TOLL HIGHWAY COMMISSION PERMANENT EASEMENT E-2-63.1); THENCE NORTH 02 DEGREES 49 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 3 A DISTANCE OF 203.87 FEET TO THE POINT OF BEGINNING), IN DUPAGE COUNTY, ILLINOIS.

SUBJECT PROPERTY VERIFICATION

(Complete a separate form for each P.I.N.)

1. Permanent Index Number (P.I.N. from Real Estate Tax Bill): 06-28-104-015
2. Common Address: 2805 BUTTERFIELD RD., OAK BROOK IL 60523
3. Provide the Legal Description for each lot as noted on the Plat of Survey as an attachment.
4. Provide the proposed Legal Description for each lot as an attachment.
5. Email the Current and Proposed Legal Description in a Word document to cchiarelli@oak-brook.org

The Permanent Index Number, Common Address and Legal information provided has been verified as follows:

06-28-104-015, 2805 BUTTERFIELD RD., OAK BROOK IL 60523

DuPage County Records/Research Room At: 630-407-5401 Contact Person:

Katie Jahnke Dale

Only First name of Contact is required.

Date called:

I verify that the information provided above is accurate.

Katie Jahnke Dale

Printed Name


Signature

Date

4/23/2026

Relationship to Applicant:

Agent

PARCEL 5: LOT 1 IN OAK BROOK INTERNATIONAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD

PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1995 AS DOCUMENT NO. R95-072664, IN DUPAGE COUNTY, ILLINOIS. EXCEPTING THEREFROM THAT PART DESCRIBED AS BEGINNING AT THE MOST WESTERLY NORTHWEST CORNER OF SAID LOT 1 (SAID POINT ALSO BEING THE NORTHEAST CORNER OF ILLINOIS STATE TOLL HIGHWAY COMMISSION PERMANENT EASEMENT E-2-63.1); THENCE NORTH 63 DEGREES 11 MINUTES 33 SECONDS EAST ALONG A NORTHERLY LINE OF SAID LOT 1 A DISTANCE OF 14.71 FEET (4.4830M); THENCE SOUTH 00 DEGREES 14 MINUTES 08 SECONDS WEST TO A SOUTHERLY LINE OF SAID LOT 1 A DISTANCE OF 47.55 FEET (14.4920M); THENCE SOUTH 87 DEGREES 10 MINUTES 30 SECONDS WEST ALONG SAID SOUTHERLY LINE A DISTANCE OF 10.90 FEET (3.3223M) TO THE MOST WESTERLY LINE OF SAID LOT 1 (ALSO BEING THE EAST LINE OF AFORESAID PERMANENT EASEMENT E-2-63.1); THENCE NORTH 02 DEGREES 49 MINUTES 30 SECONDS WEST ALONG THE MOST WESTERLY LINE OF SAID LOT 1 A DISTANCE OF 41.50 FEET (12.6492M) TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

SUBJECT PROPERTY VERIFICATION

(Complete a separate form for each P.I.N.)

1. Permanent Index Number (P.I.N. from Real Estate Tax Bill): 06-28-104-011
2. Common Address: 2809 BUTTERFIELD RD., OAK BROOK IL 60523
3. Provide the Legal Description for each lot as noted on the Plat of Survey as an attachment.
4. Provide the proposed Legal Description for each lot as an attachment.
5. Email the Current and Proposed Legal Description in a Word document to cchiarelli@oak-brook.org

The Permanent Index Number, Common Address and Legal information provided has been verified as follows:

06-28-104-011, 2809 BUTTERFIELD RD., OAK BROOK IL 60523

DuPage County Records/Research Room At: 630-407-5401 Contact Person:

Katie Jahnke Dale

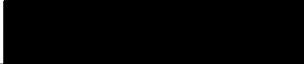
Only First name of Contact is required.

Date called:

I verify that the information provided above is accurate.

Katie Jahnke Dale

Printed Name


Signature

Date

Relationship to Applicant:

Agent

PARCEL 6: LOTS 2 AND 3 IN OAK BROOK INTERNATIONAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1995 AS DOCUMENT NO. R95-072664, (EXCEPTING THEREFROM THAT PART OF LOT 3 DESCRIBED AS BEGINNING AT THE MOST NORTHWEST CORNER OF SAID LOT 3; THENCE NORTH 87 DEGREES 10 MINUTES 30 SECONDS EAST ALONG A NORTH LINE OF SAID LOT 3 A DISTANCE OF 10.90 FEET; THENCE SOUTH 00 DEGREES 14 MINUTES 08 SECONDS WEST A DISTANCE OF 204.16 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 (ALSO BEING THE EAST LINE OF ILLINOIS STATE TOLL HIGHWAY COMMISSION PERMANENT EASEMENT E-2-63.1); THENCE NORTH 02 DEGREES 49 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 3 A DISTANCE OF 203.87 FEET TO THE POINT OF BEGINNING), IN DUPAGE COUNTY, ILLINOIS.



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PARCEL NUMBER: 06-28-104-011
NBHD: 06B22
INLAND 2905 & 2907 BUTTER
Tax Year: 2024 (Taxes Payable in 2025).

COUNTY #: 022
ROLL: RP
2905-7 BUTTERFIELD
OAK BROOK

Taxes Billed

Tax Year	Tax
2024	\$49,231.78
Total:	\$49,231.78

Property Tax by Entity

Entities	Rate:	Amount:
COLLEGE DU PAGE 502	0.179400	\$1,786.88
COUNTY OF DU PAGE	0.136100	\$1,355.60
DU PAGE AIRPORT AUTH	0.012200	\$121.52
FOREST PRESERVE DIST	0.131000	\$1,304.80
GRADE SCHOOL DIST 58	2.236800	\$22,279.20
HIGH SCHOOL DIST 99	1.851600	\$18,442.50
OAK BROOK PARK DIST	0.306100	\$3,048.84
YORK TOWNSHIP	0.044500	\$443.24
YORK TWP ROAD	0.045100	\$449.20
Total:	4.942800	\$49,231.78

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PARCEL NUMBER: 06-28-104-013
NBHD: 06B22
INLAND 2905 & 2907 BUTTER
Tax Year: 2024 (Taxes Payable in 2025).

COUNTY #: 022
ROLL: RP
2905-7 BUTTERFIELD
OAK BROOK

Record Navigator

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 Return to Search Results
 Tax Year 2024 ▼

Taxes Billed

Tax Year	Tax
2024	\$50,676.56
Total:	\$50,676.56

Property Tax by Entity

Entities	Rate:	Amount:
COLLEGE DU PAGE 502	0.179400	\$1,839.32
COUNTY OF DU PAGE	0.136100	\$1,395.38
DU PAGE AIRPORT AUTH	0.012200	\$125.08
FOREST PRESERVE DIST	0.131000	\$1,343.10
GRADE SCHOOL DIST 58	2.236800	\$22,933.02
HIGH SCHOOL DIST 99	1.851600	\$18,983.70
OAK BROOK PARK DIST	0.306100	\$3,138.32
YORK TOWNSHIP	0.044500	\$456.24
YORK TWP ROAD	0.045100	\$462.40
Total:	4.942800	\$50,676.56

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PARCEL NUMBER: 06-28-104-009
NBHD: 06B22
OAKBROOK TH LLC
Tax Year: 2024 (Taxes Payable in 2025).

COUNTY #: 022
ROLL: RP
2707 BUTTERFIELD RD
OAK BROOK

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Taxes Billed

Tax Year	Tax
2024	\$91,545.76
Total:	\$91,545.76

Property Tax by Entity

Entities	Rate:	Amount:
COLLEGE DU PAGE 502	0.179400	\$3,322.66
COUNTY OF DU PAGE	0.136100	\$2,520.72
DU PAGE AIRPORT AUTH	0.012200	\$225.96
FOREST PRESERVE DIST	0.131000	\$2,426.26
GRADE SCHOOL DIST 58	2.236800	\$41,427.84
HIGH SCHOOL DIST 99	1.851600	\$34,293.54
OAK BROOK PARK DIST	0.306100	\$5,669.30
YORK TOWNSHIP	0.044500	\$824.18
YORK TWP ROAD	0.045100	\$835.30
Total:	4.942800	\$91,545.76

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PARCEL NUMBER: 06-28-202-020
NBHD: 06B22
OAKBROOK TH LLC
Tax Year: 2024 (Taxes Payable in 2025).

COUNTY #: 022
ROLL: RP
2805 BUTTERFIELD RD
OAK BROOK

Record Navigator

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Taxes Billed

Tax Year	Tax
2024	\$487,511.34
Total:	\$487,511.34

Property Tax by Entity

Entities	Rate:	Amount:
COLLEGE DU PAGE 502	0.179400	\$17,694.32
COUNTY OF DU PAGE	0.136100	\$13,423.62
DU PAGE AIRPORT AUTH	0.012200	\$1,203.30
FOREST PRESERVE DIST	0.131000	\$12,920.60
GRADE SCHOOL DIST 58	2.236800	\$220,616.94
HIGH SCHOOL DIST 99	1.851600	\$182,624.42
OAK BROOK PARK DIST	0.306100	\$30,190.84
YORK TOWNSHIP	0.044500	\$4,389.06
YORK TWP ROAD	0.045100	\$4,448.24
Total:	4.942800	\$487,511.34

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PARCEL NUMBER: 06-28-104-015
NBHD: 06B22
INLAND 2901 BUTTERFIELD
Tax Year: 2024 (Taxes Payable in 2025).

COUNTY #: 022
ROLL: RP
2901 BUTTERFIELD RD
OAK BROOK

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 Tax Year 2024 ▼

Taxes Billed

Tax Year	Tax
2024	\$99,587.54
Total:	\$99,587.54

Property Tax by Entity

Entities	Rate:	Amount:
COLLEGE DU PAGE 502	0.179400	\$3,614.54
COUNTY OF DU PAGE	0.136100	\$2,742.14
DU PAGE AIRPORT AUTH	0.012200	\$245.82
FOREST PRESERVE DIST	0.131000	\$2,639.38
GRADE SCHOOL DIST 58	2.236800	\$45,067.06
HIGH SCHOOL DIST 99	1.851600	\$37,306.04
OAK BROOK PARK DIST	0.306100	\$6,167.30
YORK TOWNSHIP	0.044500	\$896.60
YORK TWP ROAD	0.045100	\$908.66
Total:	4.942800	\$99,587.54

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INLAND 2905 & 2907 BUTTER
PO BOX 3666
OAK BROOK, IL 60522

ADVENTUS US REALTY 2
28400 NORTHWESTERN HWY NO 4TH
SOUTHFIELD, MI 48034

NICOR GAS / SOUTHERN CO
241 RALPH MCGILL BLVD NEBIN 1
ATLANTA, GA 30309

INLAND 2905 & 2907 BUTTER
PO BOX 3666
OAK BROOK, IL 60522

INLAND 2901 BUTTERFIELD
PO BOX 3666
OAK BROOK, IL 60622

NICOR GAS / SOUTHERN CO
241 RALPH MCGILL BLVD NEBIN 1
ATLANTA, GA 30309

ADVENTUS US REALTY 2
28400 NORTHWESTERN HWY NO 4TH
SOUTHFIELD, MI 48034

CHP 2625 BUTTERFIELD LLC
2625 BUTTERFIELD NO 213W
OAK BROOK, IL 60523

NICOR GAS / SOUTHERN CO
241 RALPH MCGILL BLVD NEBIN 1
ATLANTA, GA 30309

RPAI OAK BROOK PROMENADE
30 S MERIDIAN ST, STE 1100
INDIANAPOLIS, IN 46204

CHICAGO AUTO TRADE ASSOC
18W200 BUTTERFIELD RD
OAKBROOK TERR, IL 60181

OAK BROOK TOWER CONDO
40 N TOWER RD
OAK BROOK, IL 60523

FILETTI 111, LAWRENCE
8 WYNDHAM CT
OAK BROOK, IL 60523

ING, GREGORY & REBECCA
6 WYNDHAM CT
OAK BROOK, IL 60523

RAMSEY, ADAM H
6 SWAPS CT
OAK BROOK, IL 60523

GOVE, JOHN H & JUDITH
4 SWAPS CT
OAK BROOK, IL 60523

SMEJA, LOIS
8 FOXIANA CT
OAK BROOK, IL 60523

GINGER CREEK COMM ASSOC
211 W CHICAGO AVE
HINSDALE, IL 60521

PAPPAS, JAMES & CHRISTINE
32 ROYAL VALE DR
OAK BROOK, IL 60523

ZIMMERMAN, JOEL C & KAREN
10 COCHISE CT
OAK BROOK, IL 60523

CECALA, JULIE ANN
30 ROYAL VALE DR
OAK BROOK, IL 60523

QUINDIPAN, ERLINDA & M
8 COCHISE CT
OAK BROOK, IL 60523

AUREUS, RICCARDO & REBECCA
6 COCHISE CT
OAK BROOK, IL 60523

BELTRAN, DANIEL & JENNY
10 WYNDHAM CT
OAK BROOK, IL 60523

FIRST SUBURBAN NTL BK
150 S 5TH AVE
MAYWOOD, IL 60153

O'DONNELL, S&T LAW
9 N TOWER RD
OAK BROOK, IL 60523

BECVAR, SCOTT & COLLEEN
1 N TOWER RD
OAK BROOK, IL 60523

COMMONWEALTH EDISON CO
3 LINCOLN CTR NO 4TH FL
OAKBROOK TERR, IL 60181

IGNJATOVIC, NOVICA
40 N TOWER RD UNIT 2A
OAK BROOK, IL 60523

LEDWIDGE, MELISSA & CHRIS
25 N TOWER RD
OAK BROOK, IL 60523

ALEXANDER, CONSUELO
17 N TOWER RD NO 17
OAK BROOK, IL 60523

CITY OF OAKBROOK TERRACE
17W275 BUTTERFIELD RD
OAKBROOK TERR, IL 60181

CTLTC 0001077053
10 S LASALLE ST STE 2750
CHICAGO, IL 60603

O'MALLEY, MARY & MARK
12 COCHISE CT
OAK BROOK, IL 60523

RING, ROBERT
4 WYNDHAM CT
OAK BROOK, IL 60523

CHRISTOFANO, M & B SANTUC
36 ROYAL VALE DR
OAK BROOK, IL 60523

SIDDIQUI, AHMED & T
6 FOXIANA CT
OAK BROOK, IL 60523

ALI KHAN, MASHKOOR
4 COCHISE CT
OAK BROOK, IL 60523

GUTIERREZ, VICTOR & MONIC
12 WYNDHAM CT
OAK BROOK, IL 60523

ELSHAFIE, OSAMA
14 WYNDHAM CT
OAKBROOK, IL 60523

GELO INVESTMENTS LLC
3201 OLD GLENVIEW RD
NO 300
WILMETTE, IL 60091

KAZUK, OLGA K
4847 N NEW ENGLAND
CHICAGO, IL 60656

06-28-108-017
EDWARD J HOLDEN
21 N TOWER ROAD
OAK BROOK, IL 60523

06-28-108-015
CONSUELO ALEXANDER
17 N TOWER ROAD
OAK BROOK, IL 60523

06-28-108-016
FRANK AND GRACE CERVONE
19 N TOWER ROAD
OAK BROOK, IL 60523

06-28-108-018
YUANQING & YING LIU MIAO
23 N TOWER ROAD
OAK BROOK, IL 60523-1103

06-28-108-019
MELISSA AND CHRIS LEDWIDGE
25 N TOWER ROAD
OAK BROOK, IL 60523

06-28-108-020
SUSAN MITTERER
27 N TOWER ROAD
OAK BROOK, IL 60523

06-28-108-021
NANNETTE MUNGO
29 N TOWER ROAD
OAK BROOK, IL 60523

06-28-108-022
JAMES DANIEL
31 N TOWER ROAD #31
OAK BROOK, IL 60523-1103

06-28-108-001
SCOTT CASKEY
2 N TOWER ROAD #2
OAK BROOK, IL 60523

06-28-108-002
SAMIRA YUNEZ
4 N TOWER ROAD
OAK BROOK, IL 60523

06-28-108-003
CTLTC
6 N TOWER ROAD #6
OAK BROOK, IL 60523

062-8-108-004
NASEEM HOSSEINI
8 N TOWER RD
OAK BROOK IL 60523-1104

06-28-108-005
LAVEEN HIRA
10 N TOWER ROAD
OAK BROOK, IL 60523-1104

06-28-108-006
MARTIN LEWIS
12 N TOWER ROAD
OAK BROOK, IL 60523

06-28-108-007
BOJAN JOVANOVIC
14 N TOWER ROAD
OAK BROOK, IL 60523-1104

06-28-108-008
SCOTT & COLLEEN BECVAR
1 N TOWER ROAD
OAK BROOK, IL 60523-1103

06-28-108-009
CHICAGO TITLE LAND TRUST
3 N TOWER ROAD
OAK BROOK, IL 60523-1103

06-28-108-010
SHARON & RODGER LONI
5 N TOWER ROAD
OKA BROOK, IL 60523-1103

06-28-108-011
VICTORIA THORPE
7 N TOWER ROAD
OAK BROOK, IL 60523-1103

06-28-108-012
S & T LAW O DONNEL
9 N TOWER ROAD
OAK BROOK, IL 60523-1103

06-28-108-013
JUNAID & SHIRIN AHMED
11 N TOWER ROAD #11
OAK BROOK, IL 60523

06-28-108-014
ISRAR & ABRAR HABIB
15 N TOWER ROAD #15
OAK BROOK, IL 60523

06-28-107-001
NOVICA IGNJATOVIC
40 N TOWER ROAD #2A
OAK BROOK, IL 60523-1109

06-28-107-002
PATSY S. WILLIAMS
40 N TOWER ROAD #3A
OAK BROOK, IL 60523

06-28-107-003
THOMAS HIEBEL
40 N TOWER ROAD #4A
OAK BROOK, IL 60523

06-28-107-057
JAMES THEODORE DELLIS
40 N TOWER ROAD #8C
OAK BROOK, IL 60523

06-28-107-076
DAVID C TRIBES
40 N TOWER ROAD #1D
OAK BROOK, IL 60523

06-28-107-086
TANYA LYNN LEE
40 N TOWER ROAD #11-D
OAK BROOK, IL 60523

06-28-107-088
CHARLES A DYER
40 N TOWER ROAD #14D
OAK BROOK, IL 60523- 4613

06-28-107-107
JOSE & EDDALYN CAJIGAL
40 N TOWER ROAD #5E
OAK BROOK, IL 60523

06-28-107-113
AGATHA MOELLER
40 N TOWER ROAD #11E
OAK BROOK, IL 60523-1122

06-28-107-136
MARGARET & J BURNS GILL
40 N TOWER ROAD #7F
OAK BROOK, IL 60523

06-28-107-138
NELSON SETH BROD
40 N TOWER ROAD #9F
OAK BROOK, IL 60523-1119

06-28-107-140
JAMES R COOK
40 N TOWER ROAD #11F
OAK BROOK, IL 60523-1122

06-28-107-141
MARY JANE BATHOLOMEW
40 N TOWER ROAD #12F
OAK BROOK, IL 60523

06-28-107-142
TARRUS L TR RICHARDSON
40 N TOWER RD #14F
OAK BROOK, IL 60523-1125

06-28-107-162
MARY A GRIFFIN
40 N TOWER ROAD #6G
OAK BROOK, IL 60523-1115

06-28-107-165
FARANGIZ SAED
40 N TOWER ROAD #9G
OAK BROOK, IL 60523

06-28-107-007
ISUF & AFERDITA KOLA
40 N TOWER ROAD #8A
OAK BROOK, IL 60523-1117

06-28-107-028
GABRIELE BAUER
40 N TOWER ROAD #4B
OAK BROOK, IL 60523-1155

06-28-107-034
JORGE LUIS TRUJILLO BARAJAS
40 N TOWER ROAD #10B
OAK BROOK, IL 60523

06-28-107-039
CHIARITO
40 N TOWER ROAD #16B
OAK BROOK, IL 60523

06-28-107-052
JOSE VALDEZ HERNANDEZ
40 N TOWER ROAD #3C
OAK BROOK, IL 60523

06-28-107-064
MICHAEL M WOGRONIC
40 N TOWER ROAD #16C
OAK BROOK, IL 60523

06-28-107-077
FRANCES GAMBINA
40 N TOWER ROAD #2D
OAK BROOK, IL 60523-1109

06-28-107-087
LYN REYNOLDS
40 N TOWER ROAD #12D
OAK BROOK, IL 60523-1123

06-28-107-110
JULIE & OLIMPIA SONCODI
40 N TOWER ROAD #8E
OAK BROOK, IL 60523-1118

06-28-107-111
MARCIN HRESKA
40 N TOWER ROAD #9E
OAK BROOK, IL 60523-1119

06-28-107-114
257 CFI LLC
40 N TOWER ROAD #12E
OAK BROOK, IL 60523-1123

06-28-107-117
LYNN WESLEY
40 N TOWER ROAD #16E
OAK BROOK, IL 60523

06-28-107-131
DANIEL HERBERT
40 N TOWER ROAD #2F
OAK BROOK, IL 60523-1109

06-28-107-143
CHRISTOPHER D NOONAN
40 N TOWER ROAD #15F
OAK BROOK, IL 60523-1143

06-28-107-170
ANJUM S COFFLAND
40 N TOWER ROAD #15G
OAK BROOK, IL 60523-1143

06-28-107-185
OCARG GROUP INC
40 N TOWER ROAD #3H
OAK BROOK, IL 60523

06-28-107-187
MILAN FILIPOVICH
40 N TOWER ROAD #5H
OAK BROOK, IL 60523

06-28-107-011
VIVIAN LONG
40 N TOWER ROAD #12A
OAK BROOK, IL 60523-1123

06-28-107-027
KIM STEWART
40 N TOWER ROAD #3B
OAK BROOK, IL 60523

06-28-107-033
CATHY A PERSIN
40 N TOWER ROAD #9B
OAK BROOK, IL 60523-1119

06-28-107-038
CYNTHIA ANN HOLTFRETER
40 N TOWER ROAD #15B
OAK BROOK, IL 60523

06-28-107-053
JASON ARMSTRONG
40 N TOWER ROAD #4C
OAK BROOK, IL 60523

06-28-107-056
LILLIAN & N CHELEMENGOS
40 N TOWER ROAD #7C
OAK BROOK, IL 60523

06-28-107-078
CAROLS QUEZADA JR.
40 N TOWER ROAD #3D
OAK BROOK, IL 60523

06-28-107-079
DONALD & DEBRA EGAN
40 N TOWER ROAD #4D
OAK BROOK, IL 60523

06-28-107-082
AYMAN JABR
40 N TOWER ROAD #7D
OAK BROOK, IL 60523

06-28-107-089
JOESPH ZOMAYA
40 N TOWER ROAD #15D
OAK BROOK, IL 60523-1143

06-28-107-106
DIANE RIVERS
40 N TOWER ROAD #4E
OAK BROOK, IL 60523-1112

06-28-107-108
ATG TRUST CO
40 N TOWER ROAD #6E
OAK BROOK, IL 60523

06-28-107-159
RHONDA DOYLE TURNBOUGH 40 N
TOWER ROAD #3G
OAK BROOK, IL 60523-1149

06-28-107-166
TANEEA & ARMAN RAHMAN 40 N
TOWER ROAD #10G
OAK BROOK, IL 60523

06-28-107-171
MURALI SUNKARA
40 N TOWER ROAD #16G
OAK BROOK, IL 60523-1155

06-28-107-171
LAEL LANING
40 N TOWER ROAD #16G
OAK BROOK, IL 60523-1155

06-28-107-005
SHIRISH R GADKARI
40 N TOWER ROAD #6A
OAK BROOK, IL 60523-1157

06-28-107-006
FRANCES CINARDI GAETANO 40 N
TOWER ROAD #7A
OAK BROOK, IL 60523

06-28-107-012
MARILYN M LEONARD
40 N TOWER ROAD #14A
OAK BROOK, IL 60523-1124

06-28-107-035
SHARON INSERRO
40 N TOWER ROAD #11B
OAK BROOK, IL 60523

06-28-107-036
RALPH SCALERA
40 N TOWER ROAD #12B
OAK BROOK, IL 60523-1123

06-28-107-054
CINA RUBINSTEIN
40 N TOWER ROAD #5C
OAK BROOK, IL 60523-1113

06-28-107-058
BRANISLAVA JOVICIC
40 N TOWER ROAD #9C
OAK BROOK, IL 60523

06-28-107-059
NICOLE WHITEURST
40 N TOWER ROAD #10C
OAK BROOK, IL 60523-1120

06-28-107-063
TINA VUCAJ
40 N TOWER ROAD #15C
OAK BROOK, IL 60523

06-28-107-068
WILLIAM STEDRY
40 N TOWER ROAD #5C
OAK BROOK, IL 60523

06-28-107-084
CHARON D MURPHY
40 N TOWER ROAD #9D
OAK BROOK, IL 60523

06-28-107-085
SHAWN RICE
40 N TOWER ROAD #10D
OAK BROOK, IL 60523-1120

06-28-107-105
ROY L SMITH JR.
40 N TOWER ROAD #3E
OAK BROOK, IL 60523-1111

06-28-107-158
MARY DADDONO
40 N TOWER ROAD #2G
OAK BROOK, IL 60523

06-28-107-167
RAQUEL C GRASSO
40 N TOWER ROAD #11G
OAK BROOK, IL 60523-1122

06-28-107-169
WIWIT SIWAPORNPITAK
40 N TOWER ROAD #14G
OAK BROOK, IL 60523

06-28-107-186
SHARMILA APPAVU
40 N TOWER ROAD #4H
OAK BROOK, IL 60523

06-28-107-008
BETTY CHIOPELAS
40 N TOWER ROAD #9A
OAK BROOK, IL 60523-1118

06-28-107-009
IMOGENE NADRAH
40 N TOWER ROAD #10A
OAK BROOK, IL 60523

06-28-107-010
WESTSIDE GRACE MINISTERIE
40 N TOWER ROAD #11A
OAK BROOK, IL 60523

06-28-107-030
REZA AHMAD
40 N TOWER ROAD #6B
OAK BROOK, IL 60523-1157

06-28-107-090
JINGFENG SHA
40 N TOWER ROAD #16D
OAK BROOK, IL 60523

06-28-107-112
DIANA BARBARA ROWDER
40 N TOWER ROAD #10E
OAK BROOK, IL 60523

06-28-107-130
KEVIN QUINN
40 N TOWER ROAD #1F
OAK BROOK, IL 60523

06-28-107-135
FAIZA KELADA
40 N TOWER ROAD #6F
OAK BROOK, IL 60523-1115

06-28-107-139
PAUL MARCHESE
40 N TOWER ROAD #10F
OAK BROOK, IL 60523

06-28-107-160
HOSSEIN SHIRANI
40 N TOWER ROAD #4G
OAK BROOK, IL 60523

06-28-107-161
ADELA MARTINEZ
40 N TOWER ROAD #5G
OAK BROOK, IL 60523

06-28-107-013
RONALD & SUSAN JERAK
40 N TOWER ROAD #15A
OAK BROOK, IL 60523

06-28-107-029
RICK J MALTESE
40 N TOWER ROAD #5B
OAK BROOK, IL 60523

06-28-107-032
CHARLES INGRASSIA
40 N TOWER ROAD #8B
OAK BROOK, IL 60523-1117

06-28-107-062
ROSALIE TRISTANO
40 N TOWER ROAD #14C
OAK BROOK, IL 60523

06-28-107-109
JUANITA TENNYSON
40 N TOWER ROAD #7E
OAK BROOK, IL 60523-1116

06-28-107-116
KALEEM & ANJUM ZUBAIRI
40 N TOWER ROAD #15E
OAK BROOK, IL 60523

06-28-107-133
BEACH FAMILY TRUST
40 N TOWER ROAD #4F
OAK BROOK, IL 60523

06-28-107-137
GARY & ELIZABETH WHITE
40 N TOWER ROAD #8F
OAK BROOK, IL 60523

06-28-107-144
FAYYAZ & TANSEEM MUHMUD
40 N TOWER ROAD #16F
OAK BROOK, IL 60523-1144

06-28-107-157
GABRIEL TUCK
40 N TOWER ROAD
OAK BROOK, IL 60523

06-28-107-168
TINA MEINTANIS
40 N TOWER ROAD #12G
OAK BROOK, IL 60523-1123

06-28-107-004
FORTY TOWER LLC
40 N TOWER ROAD #5A
OAK BROOK, IL 60523

06-28-107-037
W272DQ LLC
40 N TOWER ROAD #14B
OAK BROOK, IL 60523

06-28-107-051
RAJEEV D GOKHALE
40 N TOWER ROAD #2C
OAK BROOK, IL 60523

06-28-107-055
JAVIER A GARIBAY
40 N TOWER ROAD #6C
OAK BROOK, IL 60523-1157

06-28-107-164
PRIYA & ANIKA ASIJA
40 N TOWER ROAD #8G
OAK BROOK, IL 60523-1118

06-28-107-188
JAMIE KIM
40 N TOWER ROAD #6H
OAK BROOK, IL 60523-1115

06-28-107-014
CARMEN A COSTO
40 N TOWER ROAD #16A E
OAK BROOK, IL 60523

06-28-107-026
JOESPH TROMBINO
40 N TOWER ROAD #2B
OAK BROOK, IL 60523

06-28-107-060
ANTONIO PEREZ
40 N TOWER ROAD #11C
OAK BROOK, IL 60523

06-28-107-083
LUZ BERMUNDEZ
40 N TOWER ROAD #8D
OAK BROOK, IL 60523

06-28-107-103
WET N BLUE INC
40 N TOWER ROAD #1E
OAK BROOK, IL 60523

06-28-107-104
LAURENCE J SKORNIAK
40 N TOWER ROAD #2E
OAK BROOK, IL 60523

06-28-107-134
JOHN CHIOPELAS
40 N TOWER ROAD #5F
OAK BROOK, IL 60523-1113

06-28-107-215
OSCAR A FRAGOSO
40 N TOWER ROAD #8J
OAK BROOK, IL 60523-1118

06-28-107-247
AARON & GARRETT REED
KORNFIELD
40 N TOWER ROAD #15K
OAK BROOK, IL 60523-1143

06-28-107-267
RADOSTINA DIMITROVA
40 N TOWER ROAD #7L
OAK BROOK, IL 60523-1117

06-28-107-329
NOPAMAS PITAKSKUL
40 N TOWER ROAD #16N
OAK BROOK, IL 60523

06-28-107-318
MICHAEL & D MC DANIEL
40 N TOWER ROAD #4N
OAK BROOK, IL 60523-1113

06-28-107-296
DIANE RENZI STUKEL
40 N TOWER ROAD #9M
OAK BROOK, IL 60523-1120

06-28-107-190
JOSEPHINE R NELSON
40 N TOWER ROAD #8H
OAK BROOK, IL 60523

06-28-107-218
HERSON ASTORGA
40 N TOWER ROAD #11J
OAK BROOK, IL 60523-1122

06-28-107-248
CTLTC TR #9002346827
40 N TOWER ROAD #16K
OAK BROOK, IL 60523-1145

06-28-107-268
DANIEL FLORES
40 N TOWER ROAD #8L
OAK BROOK, IL 60523-1118

06-28-107-242
TOBY MEIERS
40 N TOWER ROAD #9K
OAK BROOK, IL 60523

06-28-107-328
CARL SCARAMUZZO
40 N TOWER ROAD #15N
OAK BROOK, IL 60523

06-28-107-275
LTC MBOB 8-1582
40 N TOWER ROAD #16L
OAK BROOK, IL 60523

06-28-107-194
HANNA J ZAYED
40 N TOWER ROAD #12H
OAK BROOK, IL 60523-1123

06-28-107-238
BRYAN EVANS
40 N TOWER ROAD #5K
OAK BROOK, IL 60523-1114

06-28-107-272
SETH & OLUBUKOLA FAGBEMI
40 N TOWER ROAD #12L
OAK BROOK, IL 60523-1124

06-28-107-270
GEORGE & TANDRIA WILLIAMS
40 N TOWER ROAD #10L
OAK BROOK, IL 60523-1121

06-28-107-299
M & S BADER RAMZANALI
40 N TOWER ROAD #12M
OAK BROOK, IL 60523-1124

06-28-107-239
JASON CIONE
40 N TOWER ROAD #6K
OAK BROOK, IL 60523

06-28-107-324
MINA PAVLOVIC
40 N TOWER ROAD #10N
OAK BROOK, IL 60523-1121

06-28-107-222
TAREK & SMAHI HASSAN
40 N TOWER ROAD #16J
OAK BROOK, IL 60523-1145

06-28-107-263
ANDREW M MARANAN
40 N TOWER ROAD #3L
OAK BROOK, IL 60523

06-28-107-264
THOMAS & JALISA MILLER
40 N TOWER ROAD #4L
OAK BROOK, IL 60523-1113

06-28-107-196
GIOVANNA LI ROSI
40 N TOWER ROAD #15H
OAK BROOK, IL 60523-1143

06-28-107-214
LUTITIA J SNEED
40 N TOWER ROAD #7J
OAK BROOK, IL 60523

06-28-107-243
NGAE MAN CHAN
40 N TOWER ROAD #10K
OAK BROOK, IL 60523-1121

06-28-107-292
MONA SOLIMAN
40 N TOWER ROAD #5M
OAK BROOK, IL 60523

06-28-107-217
STELLA KAINZ
40 N TOWER ROAD #10J
OAK BROOK, IL 60523-1121

06-28-107-291
PAZ ENCOMIENDA
40 N TOWER ROAD #4M
OAK BROOK, IL 60523

06-28-107-290
FRANK & THORA ROGERS
40 N TOWER ROAD
OAK BROOK, IL 60523

06-28-107-216
LORENE JOHNSON
40 N TOWER ROAD #9J-E
OAK BROOK, IL 60523

06-28-107-271
ANELA ARABELOVIC
40 N TOWER ROAD #11L
OAK BROOK, IL 60523-1122

06-28-107-241
PED FARAZ
40 N TOWER ROAD #8K
OAK BROOK, IL 60523-1118

06-28-107-319
TLC CONSULTANTS INC
40 N TOWER ROAD #5N
OAK BROOK, IL 60523-1157

06-28-107-346
TLC CONSULTANTS INC
40 N TOWER ROAD
OAK BROOK, IL 60523

06-28-107-246
JOEL V SIATONG
40 N TOWER ROAD #14K
OAK BROOK, IL 60523

06-28-107-192
JEREMY & CARMEL KRAFT
40 N TOWER ROAD #10H
OAK BROOK, IL 60523-1120

06-28-107-321
M & A MORALES JACKSON
40 N TOWER ROAD #7N
OAK BROOK, IL 60523-1117

06-28-107-212
HOLLY J EDGAR
40 N TOWER ROAD #5J
OAK BROOK, IL 60523-1114

06-28-107-293
MIDWEST INVESTMENT MGMT LLC
40 N TOWER ROAD #6M
OAK BROOK, IL 60523-1115

06-28-107-245
CHARLES MARINO III
40 N TOWER ROAD #12K
OAK BROOK, IL 60523

06-28-107-193
THOMAS P & MARGARET
CUNNINGHAM III
40 N TOWER ROAD #11K
OAK BROOK, IL 60523

06-28-107-195
MARY LOU FINN
40 N TOWER ROAD #14H
OAK BROOK, IL 60523

06-28-107-197
SYED SHAUKAT ASGHAR
40 N TOWER ROAD #16H
OAK BROOK, IL 60523

06-28-107-240
COSIMO & ALESSANDRO LIMONE
40 N TOWER ROAD #7K
OAK BROOK, IL 60523

06-28-107-300
MARYAM BOLOURI
40 N TOWER ROAD #14M
OAK BROOK, IL 60523-1186

06-28-107-244
MAZEN ABDEL HADI
40 N TOWER ROAD #11K
OAK BROOK, IL 60523

06-28-107-326
CHRISTIAN GABORIT
40 N TOWER ROAD #12N
OAK BROOK, IL 60523-1124

06-28-107-316
MILES E VAN WORMER
40 N TOWER ROAD #2N
OAK BROOK, IL 60523-1110

06-28-107-265
ALICIA RODRIGUEZ
40 N TOWER ROAD #5L
OAK BROOK, IL 60523

06-28-107-273
KENNETH BYRAM
40 N TOWER ROAD #14L
OAK BROOK, IL 60523

06-28-107-294
MASHOOD & ASMA FAROOQI
40 N TOWER ROAD #7M
OAK BROOK, IL 60523-1117

06-28-107-189
MOHEB AHMADI
40 N TOWER ROAD #7H
OAK BROOK, IL 60523-1116

06-28-107-211
ANITA I SOBBE
40 N TOWER ROAD #4J
OAK BROOK, IL 60523

06-28-107-237
SIBYLLE G CURCIO
40 N TOWER ROAD #4K
OAK BROOK, IL 60523

06-28-107-302
ANTIONE FINLEY
40 N TOWER ROAD #16M
OAK BROOK, IL 60523-1145

06-28-107-191
BILL MASALAS
40 N TOWER ROAD #9H
OAK BROOK, IL 60523

06-28-107-210
GREGORY LAPAPA
40 N TOWER ROAD #3J
OAK BROOK, IL 60523-1149

06-28-107-297
ARLENE FISHMAN
40 N TOWER ROAD #10M
OAK BROOK, IL 60523-1121

06-28-107-269
ELIZABETH JEKLI
40 N TOWER ROAD #9L
OAK BROOK, IL 60523-1120

06-28-107-327
TAU TAK CHEUNG
40 N TOWER ROAD #14N
OAK BROOK, IL 60523

06-28-107-219
FARAH HASAN
40 N TOWER ROAD #12J
OAK BROOK, IL 60523-1123

06-28-107-221
AINA JANKUNAS
40 N TOWER ROAD #5J
OAK BROOK, IL 60523-1143

06-28-107-236
CARMELITA LEONG
40 N TOWER ROAD #3K
OAK BROOK, IL 60523-1149

06-28-107-213
MARIA VERSACE
40 N TOWER ROAD #6J
OAK BROOK, IL 60523-1115

06-28-107-320
FARIED FAROKHZAD
40 N TOWER ROAD #6N
OAK BROOK, IL 60523

06-28-107-266
ALEXANDRA WILSON
40 N TOWER ROAD #6L
OAK BROOK, IL 60523-1115

06-28-107-317
NANCY QUSBA
40 N TOWER ROAD #3N
OAK BROOK, IL 60523-1149

06-28-107-322
GLEN ROY LINDQUIST
40 N TOWER ROAD #8N-E
OAK BROOK, IL 60523

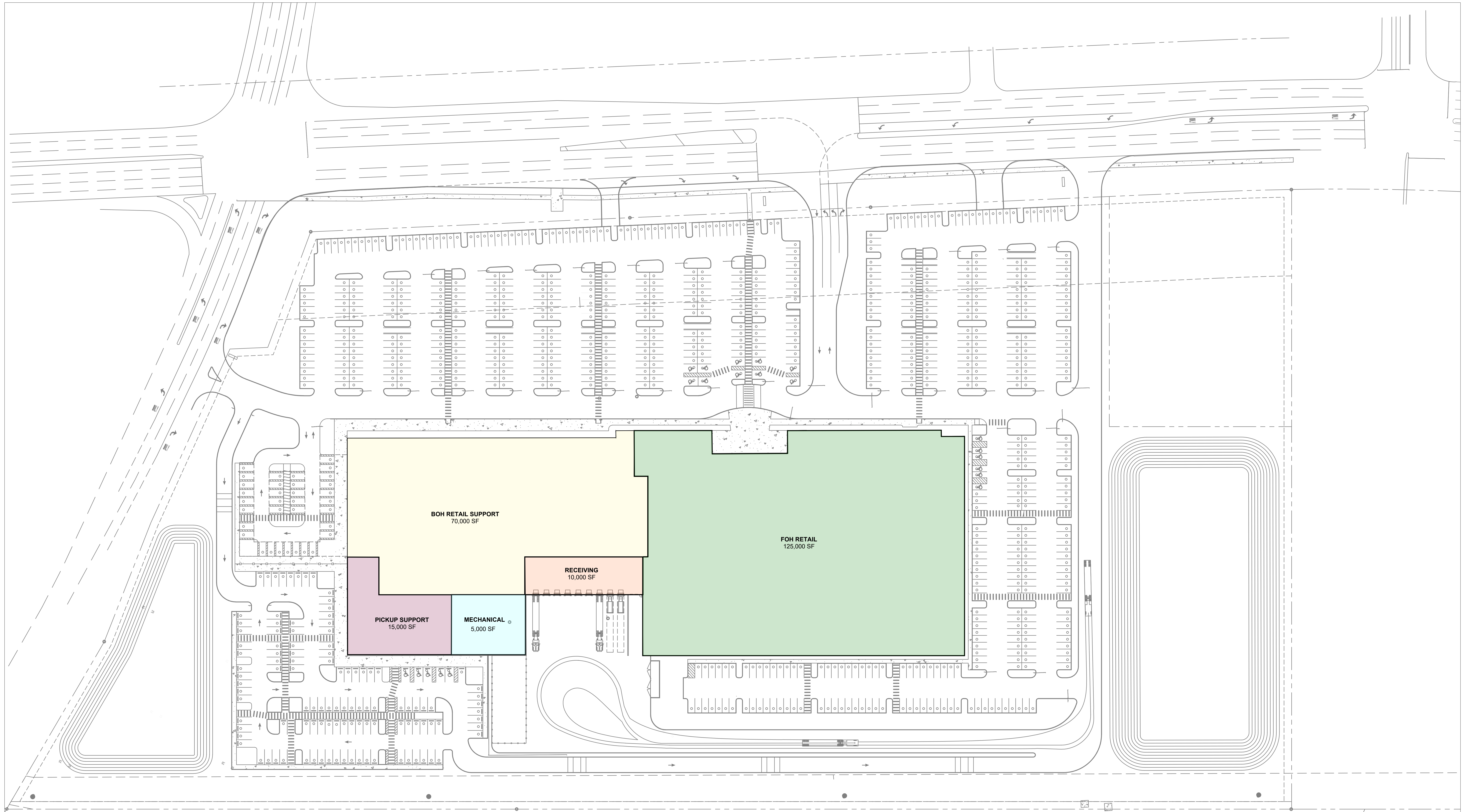
06-28-107-295
JOESPHINE R NELSON
40 N TOWER ROAD #8M
OAK BROOK, IL 60523

06-28-107-301
RICHARD BORMANN
40 N TOWER ROAD #15M
OAK BROOK, IL 60523-1144

06-28-107-323
MICHEAL PERVESCO
40 N TOWER ROAD 9-N EA
OAK BROOK, IL 60523

06-28-107-325
ANNETEE KWIA TEK
40 N TOWER ROAD #11N
OAK BROOK, IL 60523

06-28-107-209
RANA SADEK
40 N TOWER ROAD #2JE
OAK BROOK, IL 60523



ILLUSTRATIVE BUILDING FOOTPRINT AND CONCEPTUAL USE ALLOCATION
 Depicts overall building organization and anticipated operational zones. Final configuration subject to refinement during design development.

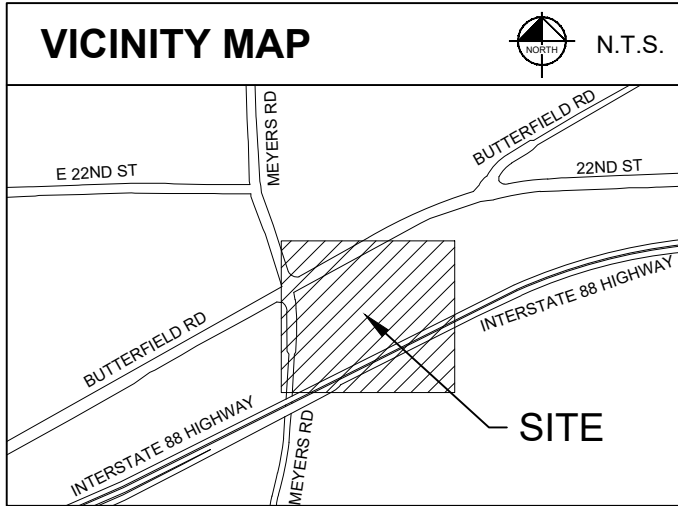
FRONT OF HOUSE (FOH) RETAIL	125,000 SF
BACK OF HOUSE (BOH) RETAIL SUPPORT	70,000 SF
PICKUP SUPPORT	15,000 SF
RECEIVING	10,000 SF
MECHANICAL	5,000 SF
ESTIMATED TOTAL	225,000 SF

Building configuration, floor areas, and operational zones are illustrative and subject to refinement during final design and permitting.

DESIGN REPRESENTATION ONLY - NOT FOR CONSTRUCTION

The images provided throughout this package are representation of the current design only. The images may not reflect variations in color, tone, hue, tint, shading, ambient light intensity, materials, texture, contrast, font style and construction variations required by building codes or inspectors, material availability or final design detailing. All images and artwork associated/provided should be reviewed by client with their print and/or production vendors and adjusted as needed during the proof and shop drawing submittals. Those client-approved drawings take precedence and provide final direction for design, printing and production.

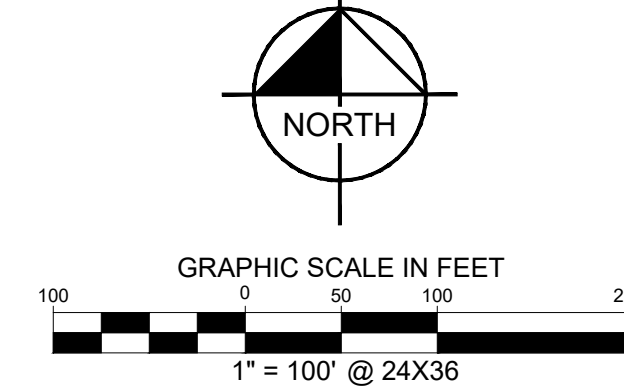
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TAX PIN'S PARCEL 1: 06-28-104-009
TAX PIN PARCEL 5: 06-28-202-020
TAX PIN PARCEL 6: 06-28-104-015
TAX PIN'S PARCEL 6: 06-28-104-011
TAX PIN'S PARCEL 6: 06-28-104-013

BUTTERFIELD ROAD DEVELOPMENT PROJECT FINAL PLAT OF CONSOLIDATION

OF
THAT PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH,
RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS



BASIS OF BEARINGS
ALL BEARINGS SHOWN ARE BASED ON GRID NORTH OF THE ILLINOIS COORDINATE SYSTEM OF 1983, EAST ZONE (1201), NORTH AMERICAN DATUM OF 1983.

AREA SUMMARY

PARCEL 1	745,161 SQ.FT.	(17,107 AC.)
PARCEL 5	128,463 SQ.FT.	(2,949 AC.)
PARCEL 6	301,739 SQ.FT.	(6,927 AC.)
TOTAL LOT 1	1,175,363 SQ.FT.	(26,983 AC.)

I.D.O.T. ACCESS NOTES:

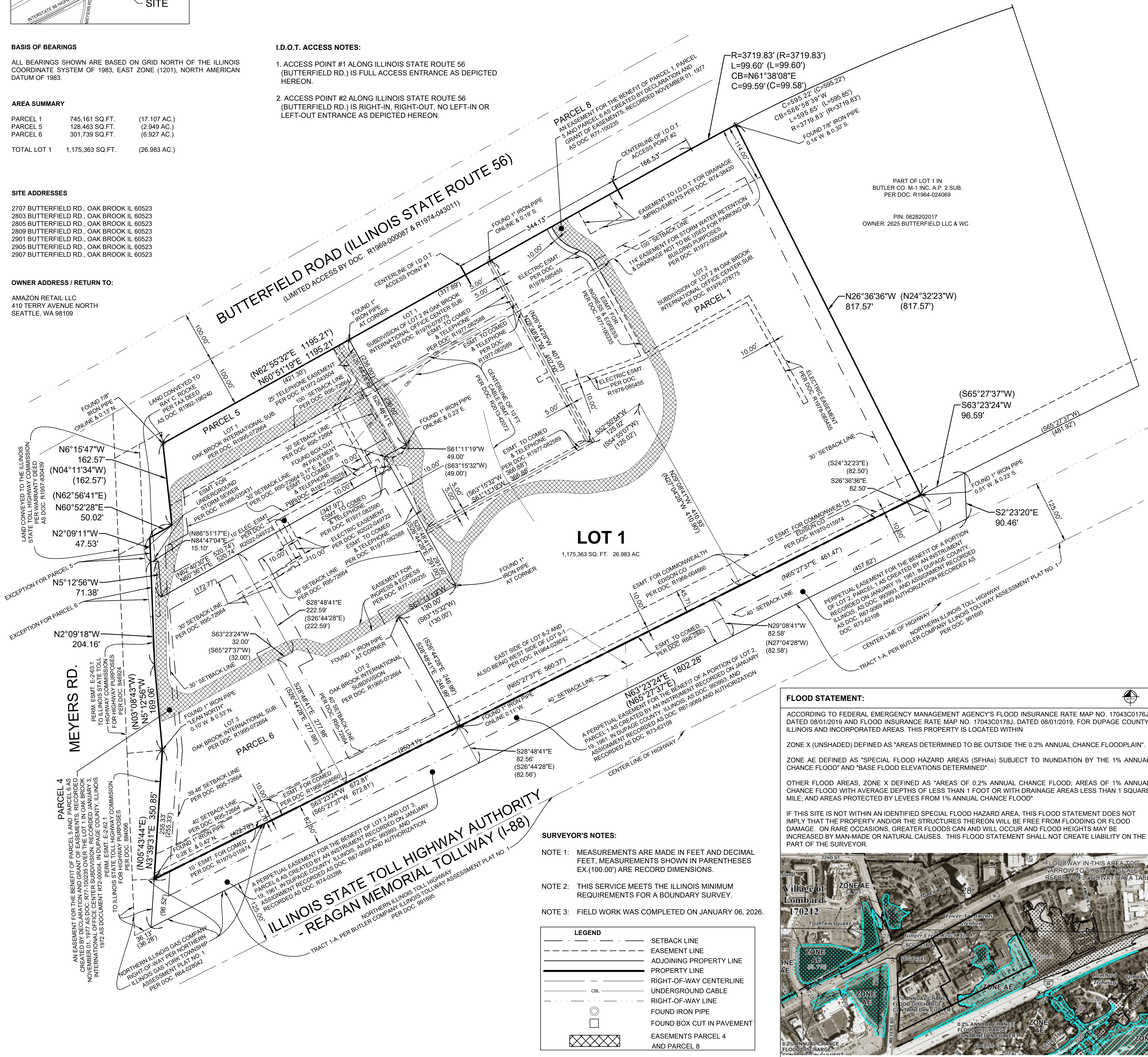
- ACCESS POINT #1 ALONG ILLINOIS STATE ROUTE 56 (BUTTERFIELD RD.) IS FULL ACCESS ENTRANCE AS DEPICTED HEREON.
- ACCESS POINT #2 ALONG ILLINOIS STATE ROUTE 56 (BUTTERFIELD RD.) IS RIGHT-IN, RIGHT-OUT, NO LEFT-IN OR LEFT-OUT ENTRANCE AS DEPICTED HEREON.

SITE ADDRESSES

2707 BUTTERFIELD RD., OAK BROOK IL 60523
2803 BUTTERFIELD RD., OAK BROOK IL 60523
2805 BUTTERFIELD RD., OAK BROOK IL 60523
2808 BUTTERFIELD RD., OAK BROOK IL 60523
2901 BUTTERFIELD RD., OAK BROOK IL 60523
2905 BUTTERFIELD RD., OAK BROOK IL 60523
2907 BUTTERFIELD RD., OAK BROOK IL 60523

OWNER ADDRESS / RETURN TO:

AMAZON RETAIL LLC
410 TERRY AVENUE NORTH
SEATTLE, WA 98109



LEGAL DESCRIPTION:

PARCEL 1: LOTS 1 AND 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AS DOCUMENT NUMBER R76-78775 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 5: LOT 1 IN OAK BROOK INTERNATIONAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1995 AS DOCUMENT NO. R95-072664, IN DUPAGE COUNTY, ILLINOIS, EXCEPTING THEREFROM THAT PART DESCRIBED AS BEGINNING AT THE MOST WESTERLY NORTHWEST CORNER OF SAID LOT 1 (SAIDPOINT ALSO BEING THE NORTHEAST CORNER OF ILLINOIS STATE TOLL HIGHWAY COMMISSION PERMANENT EASEMENT E-2-63.1); THENCE NORTH 63 DEGREES 11 MINUTES 33 SECONDS EAST ALONG A NORTHERLY LINE OF SAID LOT 1 A DISTANCE OF 14.71 FEET (4.4830M); THENCE SOUTH 00 DEGREES 14 MINUTES 08 SECONDS WEST TO A SOUTHERLY LINE OF SAID LOT 1 A DISTANCE OF 47.55 FEET (14.4920M); THENCE SOUTH 87 DEGREES 10 MINUTES 30 SECONDS WEST ALONG SAID SOUTHERLY LINE A DISTANCE OF 10.90 FEET (3.3233M) TO THE MOST WESTERLY LINE OF SAID LOT 1 (ALSO BEING THE EAST LINE OF AFORESAID PERMANENT EASEMENT E-2-63.1); THENCE NORTH 02 DEGREES 49 MINUTES 30 SECONDS WEST ALONG THE MOST WESTERLY LINE OF SAID LOT 1 A DISTANCE OF 41.50 FEET (12.6492M) TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 6: LOTS 2 AND 3 IN OAK BROOK INTERNATIONAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1995 AS DOCUMENT NO. R95-072664, (EXCEPTING THEREFROM THAT PART OF LOT 3 DESCRIBED AS BEGINNING AT THE MOST NORTHWEST CORNER OF SAID LOT 3; THENCE NORTH 87 DEGREES 10 MINUTES 30 SECONDS EAST ALONG A NORTH LINE OF SAID LOT 3 A DISTANCE OF 10.90 FEET; THENCE SOUTH 00 DEGREES 14 MINUTES 08 SECONDS WEST A DISTANCE OF 204.16 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 (ALSO BEING THE EAST LINE OF ILLINOIS STATE TOLL HIGHWAY COMMISSION PERMANENT EASEMENT E-2-63.1); THENCE NORTH 02 DEGREES 49 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 3 A DISTANCE OF 203.87 FEET TO THE POINT OF BEGINNING), IN DUPAGE COUNTY, ILLINOIS.

FLOOD STATEMENT:

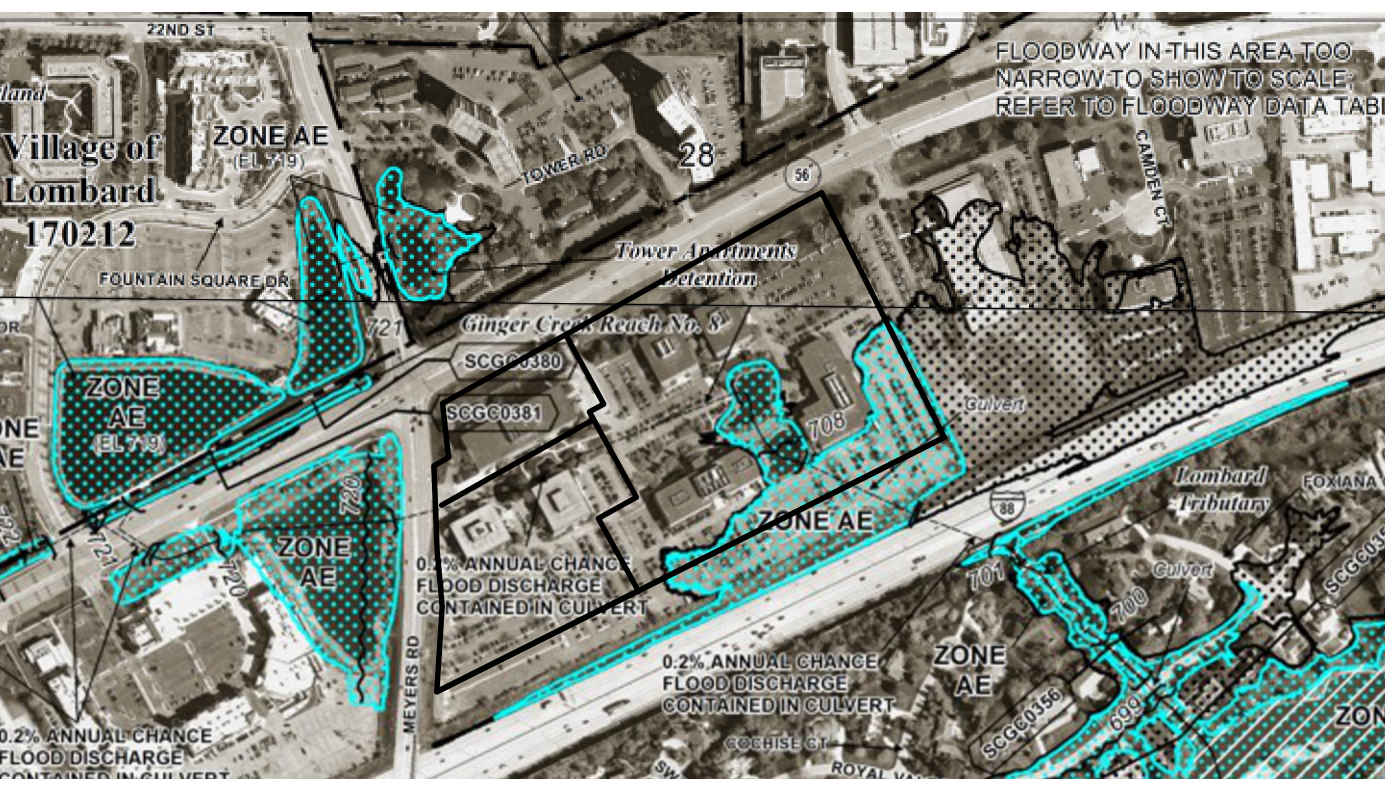
ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 17043C0176J, DATED 08/01/2019 AND FLOOD INSURANCE RATE MAP NO. 17043C0178J, DATED 08/01/2019, FOR DUPAGE COUNTY, ILLINOIS AND INCORPORATED AREAS, THIS PROPERTY IS LOCATED WITHIN

ZONE X (UNSHADED) DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

ZONE AE DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" AND "BASE FLOOD ELEVATIONS DETERMINED".

OTHER FLOOD AREAS, ZONE X DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD".

IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

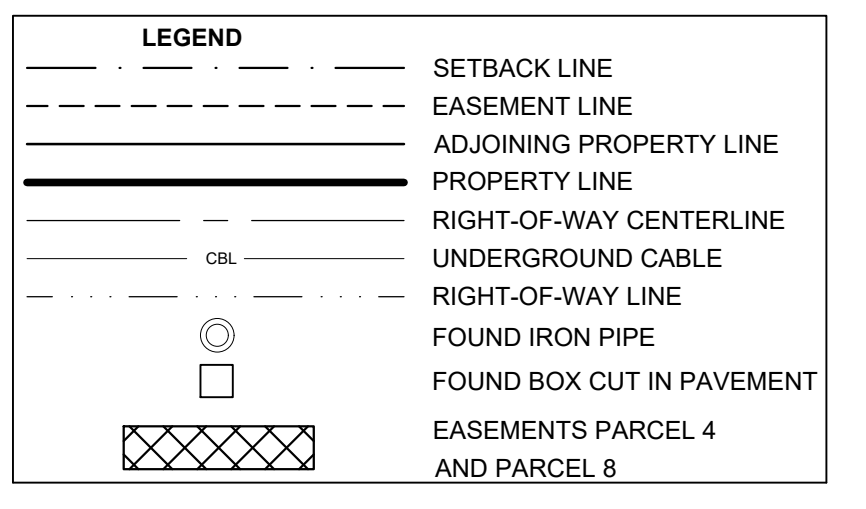


SURVEYOR'S NOTES:

NOTE 1: MEASUREMENTS ARE MADE IN FEET AND DECIMAL FEET, MEASUREMENTS SHOWN IN PARENTHESES EX. (100.00') ARE RECORD DIMENSIONS.

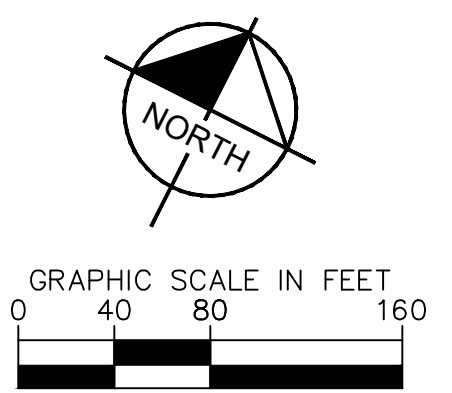
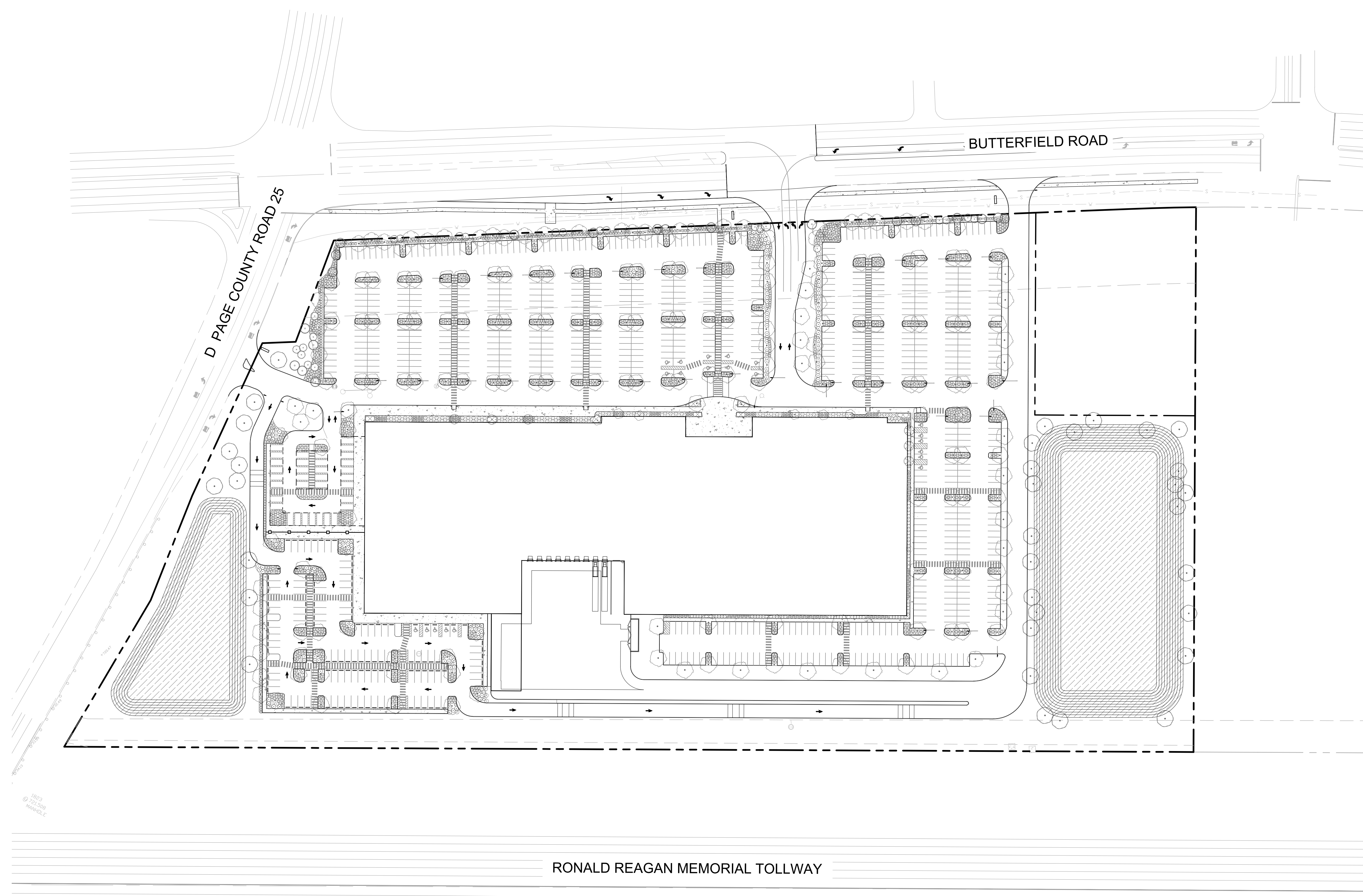
NOTE 2: THIS SERVICE MEETS THE ILLINOIS MINIMUM REQUIREMENTS FOR A BOUNDARY SURVEY.

NOTE 3: FIELD WORK WAS COMPLETED ON JANUARY 06, 2026.



SCALE:	AS NOTED	DESIGNED BY:	BAS	DRAWN BY:	AJ	CHECKED BY:	BAS
FINAL PLAT OF CONSOLIDATION							
BUTTERFIELD ROAD DEVELOPMENT PROJECT							
MEYERS RD. & BUTTERFIELD RD., OAK BROOK, IL. 60523							
ORIGINAL ISSUE:	04/17/26						
KHA PROJECT NO.	049561356						
SHEET NUMBER	1 OF 2						

Plotted By: Ferrer, Jorge - Sheet Set: BUTTERFIELD ROAD DEVELOPMENT PROJECT - L:\you\110 - April 20, 2026 - 08:34:57am - K:\N\GWA\149621091 - Oak Brook - L:\Project - Koa\KADD\Plan\PlanSheets\110 - OVERALL LANDSCAPE PLAN.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



CONCEPT PLANT SCHEDULE

	SHADE TREE 3" CAL, 12 HT MIN.	34
	INTERIOR PARKING LOT SHADE TREE 3" CAL, 12 HT MIN.	187
	PERIMETER SHADE TREE 3" CAL, 12 HT MIN.	30
	PERIMETER EVERGREEN TREE 5 HT MIN.	24
	PERIMETER ORNAMENTAL TREE 2" CAL, 6 HT MIN.	21
	FOUNDATION COLUMNAR SHADE TREE 3" CAL, 12 HT MIN.	6
	FOUNDATION ORNAMENTAL TREE 2" CAL, 6 HT MIN.	6
	PERIMETER EVERGREEN SHRUB 3 HT MIN.	391
	PERIMETER DECIDUOUS SHRUB 3 HT MIN.	157
	SMALL SHRUB 18" HT MIN.	1,631
	LARGE SHRUB 3 HT MIN.	174
	FOUNDATION LARGE SHRUB 3 HT MIN.	212
	FOUNDATION SMALL SHRUB 18" HT MIN.	285
	LOW SHRUBS AND PERENNIALS	
	DETENTION BASIN PLANTING	

NOTE:
 ALL AREAS NOT PLANTED WITH LANDSCAPE BEDS OR
 NATURALIZED PLANTINGS SHALL BE PLANTED WITH TURF
 SOD. ALL DISTURBED AREAS SHALL BE RESTORED IN KIND.

No.	REVISIONS	DATE	BY
1	RESPOND TO VILLAGE COMMENTS	03/04/26	KH

Kimley»Horn
 © 2026 KIMLEY-HORN AND ASSOCIATES, INC.
 6876 MARWICK LANE, SUITE 350, ORLANDO, FL
 PHONE: (407) 602-0423
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL	LIC PROF 1
KHA PROJECT	149621091
DATE	APRIL 20, 2026
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	
ILLINOIS LICENSE NUMBER	LIC PROF 1 #
DATE:	

**OVERALL
 LANDSCAPE PLAN**

**BUTTERFIELD ROAD
 DEVELOPMENT
 PROJECT**
 VILLAGE OF OAK
 BROOK

ILLINOIS

SHEET NUMBER
L1.0



ALTANSPS LAND TITLE SURVEY

OF

PARCEL 1: LOTS 1 AND 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AS DOCUMENT NUMBER R76-78775 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: PERPETUAL EASEMENT FOR THE BENEFIT OF A PORTION OF LOT 2, PARCEL 1, LYING EAST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT ON THE SOUTHEASTERLY MOST CORNER OF LOT 2 OF SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 2 OF THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR A DISTANCE OF 398.41 FEET; THENCE NORTH 27 DEGREES 04 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 410.90 FEET; THENCE SOUTH 54 DEGREES 55 MINUTES 07 SECONDS WEST FOR A DISTANCE OF 125.02 FEET TO THE SOUTHEAST CORNER OF LOT 1 IN SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE NORTH 26 DEGREES 44 MINUTES 28 SECONDS WEST ALONG THE NORTHEASTERLY LINE OF SAID LOT 1 FOR A DISTANCE OF 407.01 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF BUTTERFIELD ROAD, SAID POINT BEING ALSO ON THE NORTH MOST NORTHWESTERLY CORNER OF SAID LOT 2 OF SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR TERMINATION OF SAID LINE, TO ENTER UPON THE FOLLOWING DESCRIBED REAL ESTATE TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE THEREOF FOR LANDSCAPING PURPOSES AND TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE OF THE SURFACE THEREOF FOR CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, REPAIR AND USE OF SERVICE AND PRIVATE DRIVES AND AREAS FOR PARKING OF VEHICLES INCLUDING THE PAVING AND IMPROVING OF SUCH SURFACE AREAS FOR SAID PURPOSES AND FOR NO OTHER PURPOSES, AS CREATED BY AN INSTRUMENT RECORDED ON JANUARY 19, 1961, IN DUPAGE COUNTY, ILLINOIS, AS DOCUMENT 993993, AND ASSIGNMENT RECORDED AS DOCUMENT R67-9069 AND AUTHORIZATION RECORDED AS DOCUMENT R73-62108, OVER THE FOLLOWING DESCRIBED REAL ESTATE: THAT PART OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY, AS SHOWN ON THE NORTHERN ILLINOIS GAS COMPANY YORK TOWNSHIP ASSESSMENT PLAT NUMBER 1 SHOWING RIGHT OF WAY OF NORTHERN ILLINOIS GAS COMPANY THROUGH PART OF SECTIONS 31, 30, 29, 28, 27, 26 AND 25 IN TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, RECORDED AS DOCUMENT NUMBER R64-28042, IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTHEASTERLY CORNER OF LOT 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION BEING A SUBDIVISION IN PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, RECORDED AS DOCUMENT NUMBER R76-78775 IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, SAID POINT BEING ALSO ON THE NORTHWESTERLY LINE OF SAID NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 24 DEGREES 32 MINUTES 23 SECONDS EAST ALONG THE PROLONGATION OF THE NORTHEASTERLY LINE OF LOT 2 IN SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR A DISTANCE OF 82.50 FEET TO THE SOUTHEASTERLY LINE OF SAID NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY FOR A DISTANCE OF 457.82 FEET; THENCE NORTH 27 DEGREES 04 MINUTES 28 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 82.58 FEET TO A POINT ON SAID NORTHWESTERLY RIGHT OF WAY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 24 DEGREES 32 MINUTES 23 SECONDS EAST ALONG THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE NORTH 65 DEGREES 27 MINUTES 37 SECONDS EAST ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY BEING SAID SOUTHEASTERLY LINE OF LOT 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR A DISTANCE OF 461.47 FEET TO SAID POINT OF BEGINNING.

PARCEL 3: PERPETUAL EASEMENT FOR THE BENEFIT OF A PORTION OF LOT 2, PARCEL 1, LYING WEST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT ON THE SOUTHEASTERLY MOST CORNER OF LOT 2 OF SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 2 OF THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, FOR A DISTANCE OF 398.41 FEET; THENCE NORTH 27 DEGREES 04 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 410.90 FEET; THENCE SOUTH 54 DEGREES 55 MINUTES 07 SECONDS WEST FOR A DISTANCE OF 125.02 FEET TO THE SOUTHEAST CORNER OF LOT 1 IN SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE NORTH 26 DEGREES 44 MINUTES 28 SECONDS WEST ALONG THE NORTHEASTERLY LINE OF SAID LOT 1 FOR A DISTANCE OF 407.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF BUTTERFIELD ROAD, SAID POINT BEING ALSO ON THE NORTH MOST NORTHWESTERLY CORNER OF SAID LOT 2 OF SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR THE TERMINATION OF SAID LINE, TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE THEREOF FOR LANDSCAPING PURPOSES AND TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE OF THE SURFACE THEREOF FOR CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, REPAIR AND USE OF SERVICE AND PRIVATE DRIVES AND AREAS FOR PARKING OF VEHICLES INCLUDING THE PAVING AND IMPROVING OF SUCH SURFACE AREAS FOR SAID PURPOSES AND FOR NO OTHER PURPOSES, AS CREATED BY AN INSTRUMENT RECORDED ON JANUARY 19, 1961, IN DUPAGE COUNTY, ILLINOIS, AS DOCUMENT 993993, AND ASSIGNMENT RECORDED AS DOCUMENT R67-9069 AND AUTHORIZATION RECORDED AS DOCUMENT R73-62108, THE FOLLOWING DESCRIBED REAL ESTATE: THAT PART OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY, AS SHOWN ON THE NORTHERN ILLINOIS GAS COMPANY YORK TOWNSHIP ASSESSMENT PLAT NUMBER 1 SHOWING RIGHT OF WAY OF NORTHERN ILLINOIS GAS COMPANY THROUGH PART OF SECTIONS 31, 30, 29, 28, 27, 26 AND 25 IN TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, RECORDED AS DOCUMENT NUMBER R64-28042 IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE SOUTHEASTERLY CORNER OF LOT 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION BEING A SUBDIVISION IN PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS RECORDED AS DOCUMENT R76-78775 IN THE RECORDER'S OFFICE IN DUPAGE COUNTY, ILLINOIS, SAID POINT BEING ALSO ON THE NORTHWESTERLY LINE OF SAID NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 24 DEGREES 32 MINUTES 23 SECONDS EAST ALONG THE PROLONGATION OF THE NORTHEASTERLY LINE OF LOT 2 IN SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR A DISTANCE OF 82.50 FEET TO THE SOUTHEASTERLY LINE OF SAID NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY FOR A DISTANCE OF 457.82 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG THE LAST DESCRIBED LINE FOR A DISTANCE OF 560.85 FEET; THENCE NORTH 26 DEGREES 44 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 82.56 FEET TO A POINT ON SAID NORTHWESTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; SAID POINT BEING ALSO ON THE SOUTHEASTERLY LINE OF SAID LOT 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE NORTH 65 DEGREES 27 MINUTES 37 SECONDS EAST ALONG SAID NORTHWESTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY BEING SAID SOUTHEASTERLY LINE OF LOT 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, FOR A DISTANCE OF 560.37 FEET; THENCE SOUTH 27 DEGREES 04 MINUTES 28 SECONDS EAST FOR A DISTANCE OF 82.58 FEET TO SAID POINT OF BEGINNING.

PARCEL 4: EASEMENT FOR THE BENEFIT OF PARCEL 1, AS CREATED BY DECLARATION AND GRANT OF EASEMENTS MADE BY LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 3, 1971 AND KNOWN AS TRUST NUMBER 43529; LA SALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED SEPTEMBER 4, 1973 AND KNOWN AS TRUST NUMBER 46570; AND LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED DECEMBER 27, 1976 AND KNOWN AS TRUST NUMBER 51894, DATED MAY 27, 1977 AND RECORDED ON NOVEMBER 1, 1977 AS DOCUMENT R77-100235 OVER AND UPON ALL DRIVEWAYS AS IDENTIFIED IN SAID GRANT OF EASEMENTS ON THE LAND DESCRIBED AS FOLLOWS: LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 3, 1972 AS DOCUMENT R72-00004, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 5: LOT 1 IN OAK BROOK INTERNATIONAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1995 AS DOCUMENT NO. R95-072664, IN DUPAGE COUNTY, ILLINOIS, EXCEPTING THEREFROM THAT PART DESCRIBED AS BEGINNING AT THE MOST WESTERLY NORTHWEST CORNER OF SAID LOT 1 (SAIDPOINT ALSO BEING THE NORTHEAST CORNER OF ILLINOIS STATE TOLL HIGHWAY COMMISSION PERMANENT EASEMENT E-2-63.1); THENCE NORTH 63 DEGREES 11 MINUTES 33 SECONDS EAST ALONG A NORTHERLY LINE OF SAID LOT 1 A DISTANCE OF 14.71 FEET (4.4830M); THENCE SOUTH 00 DEGREES 14 MINUTES 08 SECONDS WEST TO A SOUTHERLY LINE OF SAID LOT 1 A DISTANCE OF 47.55 FEET (14.4923M); THENCE SOUTH 87 DEGREES 10 MINUTES 30 SECONDS WEST ALONG SAID SOUTHERLY LINE A DISTANCE OF 10.90 FEET (3.3223M) TO THE MOST WESTERLY LINE OF SAID LOT 1 (ALSO BEING THE EAST LINE OF A FORESAID PERMANENT EASEMENT E-2-63.1); THENCE NORTH 02 DEGREES 49 MINUTES 30 SECONDS WEST ALONG THE MOST WESTERLY LINE OF SAID LOT 1 A DISTANCE OF 41.50 FEET (12.6492M) TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 6: EASEMENT FOR THE BENEFIT OF PARCELS 5 AND 6 AS CREATED BY DECLARATION AND GRANT OF EASEMENTS MADE BY LA SALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 3, 1971 AND KNOWN AS TRUST NUMBER 43529; LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED DECEMBER 27, 1976 AND KNOWN AS TRUST NUMBER 51894, DATED MAY 27, 1977 AND RECORDED NOVEMBER 1, 1977 AS DOCUMENT NO. R77-100235, OVER AND UPON ALL DRIVEWAYS AS IDENTIFIED ON EXHIBIT "D" ATTACHED THERETO.

PARCEL 7: PERPETUAL EASEMENT FOR THE BENEFIT OF PARCELS 5 AND 6 AS CREATED BY AN INSTRUMENT RECORDED ON JANUARY 19, 1961, IN DUPAGE COUNTY, ILLINOIS, AS DOCUMENT 993993, AND ASSIGNMENT RECORDED AS DOCUMENT NO. R67-9069 AND AUTHORIZATION RECORDED AS DOCUMENT NO. R74-03288 TO ENTER UPON THE PROPERTY DESCRIBED DESCRIBED THEREIN TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE THEREOF FOR LANDSCAPING PURPOSES AND TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE OF THE SURFACE THEREOF FOR CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, REPAIR AND USE OF SERVICE AND PRIVATE DRIVES AND AREAS FOR PARKING OF VEHICLES INCLUDING THE PAVING AND IMPROVING OF SUCH SURFACE AREAS FOR SAID PURPOSES AND FOR NO OTHER PURPOSE.

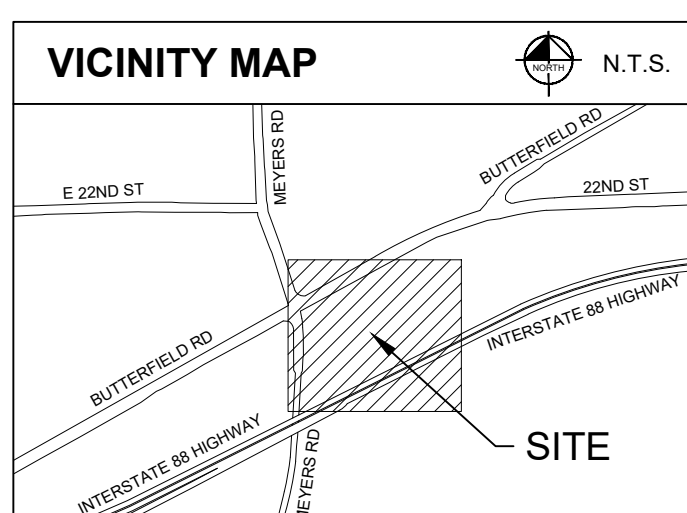
PARCEL 8: EASEMENT FOR THE BENEFIT OF PARCELS 5 AND 6 AS CREATED BY DECLARATION AND GRANT OF EASEMENTS MADE BY LA SALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 3, 1971 AND KNOWN AS TRUST NUMBER 43529; LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED DECEMBER 27, 1976 AND KNOWN AS TRUST NUMBER 51894, DATED MAY 27, 1977 AND RECORDED NOVEMBER 1, 1977 AS DOCUMENT NO. R77-100235, OVER AND UPON ALL DRIVEWAYS AS IDENTIFIED ON EXHIBIT "D" ATTACHED THERETO.

PARCEL 9: NON-EXCLUSIVE, PERPETUAL EASEMENT FOR THE BENEFIT OF PARCELS 5 AND 6 FOR INGRESS AND EGRESS AND PARKING, UNDER AND BY VIRTUE OF THE EASEMENTS, COVENANTS AND RESTRICTIONS AGREEMENT RECORDED JUNE 20, 1995 AS DOCUMENT NO. R95-075460, ON, OVER AND ACROSS THOSE PORTIONS OF THE THE PROPERTY DESCRIBED THEREIN.

PARCEL 10: THAT PART OF LOT 8-2 LYING EAST OF MYERS ROAD AND LOT 9-1 LYING EAST OF MYERS RD, AS SHOWN ON THE NORTHERN ILLINOIS GAS COMPANY YORK TOWNSHIP ASSESSMENT PLAT NUMBER 1, IN TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED AS DOCUMENT NO. R64-28042, IN DUPAGE COUNTY ILLINOIS.

NOTE:

- PARCEL 9 IS A BLANKET EASEMENT FOR CROSS PARKING AND ACCESS OVER PARCEL 5 AND PARCEL 6



TAX PIN'S PARCEL 1: 06-28-104-009
06-28-202-020
TAX PIN PARCEL 5: 06-28-104-015
TAX PIN'S PARCEL 6: 06-28-104-011
06-28-104-013
TAX PIN'S PARCEL 10: 06-28-104-014
06-28-202-010

ZONING NOTES:

ZONING "ORA-1 OFFICE-RESEARCH-ASSEMBLY-DISTRICT". ALL ZONING INFORMATION WAS ACQUIRED FROM THE VILLAGE OF OAK BROOK WEBSITE: "HTTPS://OAK-BROOK.ORG/DOCUMENTCENTER/VIEW/6325/OFFICIAL-ZONING-MAP" "HTTPS://CODELIBRARY.AMLEGAL.COM/CODES/OAKBROOK/LATEST/OAKBROOK_ILU0-0-0-1"

AND NOT PROVIDED BY THE INSURER PURSUANT TO THE ALTA REQUIREMENTS.

ZONING AND BULK REGULATIONS:

VILLAGE OF OAK BROOK, ILLINOIS ZONING CODE/ BULK REGULATIONS

ARTICLE A. ORA1 OFFICE-RESEARCH-ASSEMBLY DISTRICT

13-10A-3: LOT AREA REQUIREMENTS:

- FLOOR AREA RATIO: NOT TO EXCEED 0.48.
- STRUCTURE HEIGHT: NOT MORE THAN FIVE (5) STORIES OR SEVENTY SIX FEET (76'), WHICHEVER IS LESS.
- YARDS:
 - FRONT: NOT LESS THAN ONE HUNDRED FEET (100') IN DEPTH, EXCEPT WHEN ADJACENT TO A RESIDENCE DISTRICT BOUNDARY LINE NOT LESS THAN ONE HUNDRED FIFTY FEET (150') IN DEPTH;
 - SIDE: NOT LESS THAN THIRTY FEET (30') IN DEPTH, EXCEPT: A) THAT PORTION OF A SIDE YARD WHEN ABUTTING A RESIDENCE DISTRICT SHALL NOT BE LESS THAN ONE HUNDRED FIFTY FEET (150') IN DEPTH; B) A SIDE YARD ABUTTING A STREET SHALL CONFORM IN DEPTH TO THE FRONT YARD DEPTH OF A CONTIGUOUS LOT ABUTTING ON SUCH STREET; AND C) SIDE YARDS ABUTTING 22ND STREET AND YORK ROAD SHALL HAVE A DEPTH OF NOT LESS THAN ONE HUNDRED FEET (100');
 - REAR: NOT LESS THAN FORTY FEET (40') IN DEPTH, EXCEPT THAT PORTION OF A REAR YARD ABUTTING A RESIDENCE DISTRICT SHALL BE NOT LESS THAN ONE HUNDRED FIFTY FEET (150') IN DEPTH, AND EXCEPT THAT A REAR YARD ABUTTING AN ALLEY OR SERVICE DRIVE MAY BE REDUCED BY TWENTY FEET (20') IN DEPTH;

SURVEY NOTES:

BUILDING AREA CALCULATIONS ARE BASED ON GROUND FLOOR FOOT PRINT ONLY AND DO NOT REPRESENT THE TOTAL AVAILABLE FLOOR AREA OF THE BUILDINGS.

NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED AT THE TIME OF SURVEY.

THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES.

THE SURVEYED LEGAL DESCRIPTION SHOWN HEREON IS THE SAME AS THE RECORD LEGAL DESCRIPTION AS LISTED IN THE BELOW REFERENCED TITLE COMMITMENTS AND THE SURVEYOR STATES THERE THE RECORD DESCRIPTION IS CONTIGUOUS AND THERE ARE NO GAPS OF GORES.

UNDERGROUND UTILITIES SHOWN HEREON ARE FROM RECORD DRAWINGS OBTAINED FROM THE VILLAGE OF OAK BROOK AND THE ENGINEER OF RECORD AND THE SURVEYOR CANNOT GUARANTEE THE LOCATIONS OF SAID UTILITIES, EXCEPT THOSE THAT ARE OBSERVED ON THE SURFACE AT THE TIME OF THIS SURVEY.

NO CEMETERIES OR BURIAL GROUNDS WERE OBSERVED AT THE TIME OF SURVEY.

MEASUREMENTS ARE MADE IN FEET AND DECIMAL FEET, MEASUREMENTS SHOWN IN PARENTHESES EX. (100.00') ARE RECORD DIMENSIONS.

THIS SERVICE MEETS THE ILLINOIS MINIMUM REQUIREMENTS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.

FIELD WORK WAS COMPLETED ON JANUARY 06, 2026.

IRON PIPES SET AT ALL CORNERS UNLESS OTHERWISE DENOTED.

SURVEY PREPARED FOR

DUPAGE ROAD AND BUTTERFIELD ROAD.

BASIS OF BEARINGS

ALL BEARINGS SHOWN ARE BASED ON GRID NORTH OF THE ILLINOIS COORDINATE SYSTEM OF 1983, EAST ZONE (1201), NORTH AMERICAN DATUM OF 1983.

PARKING SUMMARY

THERE ARE 1264 PARKING SPACES, 35 OF WHICH ARE HANDICAPPED

AREA SUMMARY

Parcel	SQ.FT.	AC.
PARCEL 1	745,161	(17.107)
PARCEL 5	128,463	(2.949)
PARCEL 6	301,739	(6.927)
PARCEL 10	148,233	(3.403)
TOTAL	1,323,596	(30.386)

SITE ADDRESSES

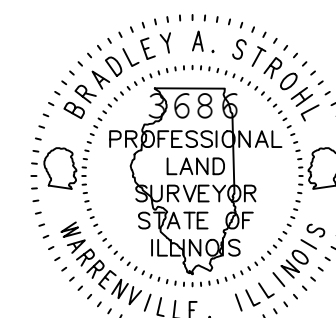
2707 BUTTERFIELD RD., OAK BROOK IL 60523
2803 BUTTERFIELD RD., OAK BROOK IL 60523
2805 BUTTERFIELD RD., OAK BROOK IL 60523
2809 BUTTERFIELD RD., OAK BROOK IL 60523
2901 BUTTERFIELD RD., OAK BROOK IL 60523
2905 BUTTERFIELD RD., OAK BROOK IL 60523
2907 BUTTERFIELD RD., OAK BROOK IL 60523

SURVEYORS CERTIFICATION:

TO: CHICAGO TITLE INSURANCE COMPANY
TBD

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1.3,4,8,9,13 AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 06, 2026.

BRADLEY A. STROHL
PROFESSIONAL LAND SURVEYOR NO. 3686
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
PH. 331-209-0476
BRAD.STROHL@KIMLEY-HORN.COM



No.	DATE	REVISION DESCRIPTION	Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
			1"= 50'	AJ	BAS	02/04/2026	049561356	1 OF 4

Kimley»Horn

4201 Winfield Road, Ste 600
Warrenville, Illinois 60555
DESIGN FIRM # 184002012-0006
Tel. No. (630) 487-5550
www.kimley-horn.com

ALTANSPS LAND TITLE SURVEY

OF

PARCEL 1: LOTS 1 AND 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED AS DOCUMENT NUMBER R76-78775 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: PERPETUAL EASEMENT FOR THE BENEFIT OF A PORTION OF LOT 2, PARCEL 1, LYING EAST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT ON THE SOUTHEASTERLY MOST CORNER OF LOT 2 OF SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 2 OF THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR A DISTANCE OF 398.41 FEET; THENCE NORTH 27 DEGREES 04 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 410.90 FEET; THENCE SOUTH 54 DEGREES 55 MINUTES 07 SECONDS WEST FOR A DISTANCE OF 125.02 FEET TO THE SOUTHEAST CORNER OF LOT 1 IN SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE NORTH 26 DEGREES 44 MINUTES 28 SECONDS WEST ALONG THE NORTHEASTERLY LINE OF SAID LOT 1 FOR A DISTANCE OF 407.01 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF BUTTERFIELD ROAD, SAID POINT BEING ALSO ON THE NORTH MOST NORTH-WESTERLY CORNER OF SAID LOT 2 OF SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR TERMINATION OF SAID LINE, TO ENTER UPON THE FOLLOWING DESCRIBED REAL ESTATE TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE THEREOF FOR LANDSCAPING PURPOSES AND TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE OF THE SURFACE THEREOF FOR CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, REPAIR AND USE OF SERVICE AND PRIVATE DRIVES AND AREAS FOR PARKING OF VEHICLES INCLUDING THE PAVING AND IMPROVING OF SUCH SURFACE AREAS FOR SAID PURPOSES AND FOR NO OTHER PURPOSES, AS CREATED BY AN INSTRUMENT RECORDED ON JANUARY 19, 1961, IN DUPAGE COUNTY, ILLINOIS, AS DOCUMENT 993993, AND ASSIGNMENT RECORDED AS DOCUMENT R67-9069 AND AUTHORIZATION RECORDED AS DOCUMENT R73-62108, OVER THE FOLLOWING DESCRIBED REAL ESTATE: THAT PART OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY, AS SHOWN ON THE NORTHERN ILLINOIS GAS COMPANY YORK TOWNSHIP ASSESSMENT PLAT NUMBER 1 SHOWING RIGHT OF WAY OF NORTHERN ILLINOIS GAS COMPANY THROUGH PART OF SECTIONS 31, 30, 29, 28, 27, 26 AND 25 IN TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, RECORDED AS DOCUMENT NUMBER R64-28042, IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTHEASTERLY CORNER OF LOT 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION BEING A SUBDIVISION IN PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, RECORDED AS DOCUMENT NUMBER R76-78775 IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, SAID POINT BEING ALSO ON THE NORTHWESTERLY LINE OF SAID NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 24 DEGREES 32 MINUTES 23 SECONDS EAST ALONG THE PROLONGATION OF THE NORTHEASTERLY LINE OF LOT 2 IN SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR A DISTANCE OF 82.50 FEET TO THE SOUTHEASTERLY LINE OF SAID NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY FOR A DISTANCE OF 457.82 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE FOR A DISTANCE OF 560.85 FEET; THENCE NORTH 26 DEGREES 44 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 82.56 FEET TO A POINT ON SAID NORTHWESTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; SAID POINT BEING ALSO ON THE SOUTHEASTERLY LINE OF SAID LOT 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE NORTH 65 DEGREES 27 MINUTES 37 SECONDS EAST ALONG SAID NORTHWESTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY BEING SAID SOUTHEASTERLY LINE OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, FOR A DISTANCE OF 560.37 FEET; THENCE SOUTH 27 DEGREES 04 MINUTES 28 SECONDS EAST FOR A DISTANCE OF 82.58 FEET TO SAID POINT OF BEGINNING.

PARCEL 3: A PERPETUAL EASEMENT FOR THE BENEFIT OF A PORTION OF LOT 2, PARCEL 1, LYING WEST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT ON THE SOUTHEASTERLY MOST CORNER OF LOT 2 OF SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 2 OF THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, FOR A DISTANCE OF 398.41 FEET; THENCE NORTH 27 DEGREES 04 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 410.90 FEET; THENCE SOUTH 54 DEGREES 55 MINUTES 07 SECONDS WEST FOR A DISTANCE OF 125.02 FEET TO THE SOUTHEAST CORNER OF LOT 1 IN SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE NORTH 26 DEGREES 44 MINUTES 28 SECONDS WEST ALONG THE NORTHEASTERLY LINE OF SAID LOT 1 FOR A DISTANCE OF 407.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF BUTTERFIELD ROAD, SAID POINT BEING ALSO ON THE NORTH MOST NORTH-WESTERLY CORNER OF SAID LOT 2 OF SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR THE TERMINATION OF SAID LINE, TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE THEREOF FOR LANDSCAPING PURPOSES AND TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE OF THE SURFACE THEREOF FOR CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, REPAIR AND USE OF SERVICE AND PRIVATE DRIVES AND AREAS FOR PARKING OF VEHICLES INCLUDING THE PAVING AND IMPROVING OF SUCH SURFACE AREAS FOR SAID PURPOSES AND FOR NO OTHER PURPOSES, AS CREATED BY AN INSTRUMENT RECORDED ON JANUARY 19, 1961, IN DUPAGE COUNTY, ILLINOIS, AS DOCUMENT 993993, AND ASSIGNMENT RECORDED AS DOCUMENT R67-9069 AND AUTHORIZATION RECORDED AS DOCUMENT R73-62108, THE FOLLOWING DESCRIBED REAL ESTATE: THAT PART OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY, AS SHOWN ON THE NORTHERN ILLINOIS GAS COMPANY YORK TOWNSHIP ASSESSMENT PLAT NUMBER 1 SHOWING RIGHT OF WAY OF NORTHERN ILLINOIS GAS COMPANY THROUGH PART OF SECTIONS 31, 30, 29, 28, 27, 26 AND 25 IN TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, RECORDED AS DOCUMENT NUMBER R64-28042 IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE SOUTHEASTERLY CORNER OF LOT 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION BEING A SUBDIVISION IN PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS RECORDED AS DOCUMENT R76-78775 IN THE RECORDER'S OFFICE IN DUPAGE COUNTY, ILLINOIS, SAID POINT BEING ALSO ON THE NORTHWESTERLY LINE OF SAID NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 24 DEGREES 32 MINUTES 23 SECONDS EAST ALONG THE PROLONGATION OF THE NORTHEASTERLY LINE OF LOT 2 IN SAID SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION FOR A DISTANCE OF 82.50 FEET TO THE SOUTHEASTERLY LINE OF SAID NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; THENCE SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG SAID SOUTHEASTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY FOR A DISTANCE OF 457.82 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 65 DEGREES 27 MINUTES 37 SECONDS WEST ALONG THE LAST DESCRIBED LINE FOR A DISTANCE OF 560.85 FEET; THENCE NORTH 26 DEGREES 44 MINUTES 28 SECONDS WEST FOR A DISTANCE OF 82.56 FEET TO A POINT ON SAID NORTHWESTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY; SAID POINT BEING ALSO ON THE SOUTHEASTERLY LINE OF SAID LOT 2 IN THE SUBDIVISION OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION; THENCE NORTH 65 DEGREES 27 MINUTES 37 SECONDS EAST ALONG SAID NORTHWESTERLY LINE OF THE NORTHERN ILLINOIS GAS COMPANY RIGHT OF WAY BEING SAID SOUTHEASTERLY LINE OF LOT 2 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION, FOR A DISTANCE OF 560.37 FEET; THENCE SOUTH 27 DEGREES 04 MINUTES 28 SECONDS EAST FOR A DISTANCE OF 82.58 FEET TO SAID POINT OF BEGINNING.

PARCEL 4: EASEMENT FOR THE BENEFIT OF PARCEL 1, AS CREATED BY DECLARATION AND GRANT OF EASEMENTS MADE BY LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 3, 1971 AND KNOWN AS TRUST NUMBER 43529; LA SALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED SEPTEMBER 4, 1973 AND KNOWN AS TRUST NUMBER 46570; AND LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED DECEMBER 27, 1976 AND KNOWN AS TRUST NUMBER 51894, DATED MAY 27, 1977 AND RECORDED ON NOVEMBER 1, 1977 AS DOCUMENT R77-100235 OVER AND UPON ALL DRIVEWAYS AS IDENTIFIED IN SAID GRANT OF EASEMENTS ON THE LAND DESCRIBED AS FOLLOWS: LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 3, 1972 AS DOCUMENT R72-00004, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 5: LOT 1 IN OAK BROOK INTERNATIONAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1995 AS DOCUMENT NO. R95-072664, IN DUPAGE COUNTY, ILLINOIS, EXCEPTING THEREFROM THAT PART DESCRIBED AS BEGINNING AT THE MOST WESTERLY NORTHWEST CORNER OF SAID LOT 1 (SAID POINT ALSO BEING THE NORTHEAST CORNER OF ILLINOIS STATE TOLL HIGHWAY COMMISSION PERMANENT EASEMENT E-2-63.1); THENCE NORTH 63 DEGREES 11 MINUTES 33 SECONDS EAST ALONG A NORTHERLY LINE OF SAID LOT 1 A DISTANCE OF 14.71 FEET (4.4830M); THENCE SOUTH 00 DEGREES 14 MINUTES 08 SECONDS WEST TO A SOUTHERLY LINE OF SAID LOT 1, A DISTANCE OF 47.55 FEET (14.4923M); THENCE SOUTH 87 DEGREES 10 MINUTES 30 SECONDS WEST ALONG SAID SOUTHERLY LINE A DISTANCE OF 10.90 FEET (3.3233M) TO THE MOST WESTERLY LINE OF SAID LOT 1 (ALSO BEING THE EAST LINE OF FORESAID PERMANENT EASEMENT E-2-63.1); THENCE NORTH 02 DEGREES 49 MINUTES 30 SECONDS WEST ALONG THE MOST WESTERLY LINE OF SAID LOT 1 A DISTANCE OF 41.50 FEET (12.6492M) TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 6: LOTS 2 AND 3 IN OAK BROOK INTERNATIONAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 1 IN OAK BROOK INTERNATIONAL OFFICE CENTER SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1995 AS DOCUMENT NO. R95-072664, (EXCEPTING THEREFROM THAT PART OF LOT 3 DESCRIBED AS BEGINNING AT THE MOST NORTHWEST CORNER OF SAID LOT 3; THENCE NORTH 87 DEGREES 10 MINUTES 30 SECONDS EAST ALONG A NORTH LINE OF SAID LOT 3 A DISTANCE OF 10.90 FEET; THENCE SOUTH 00 DEGREES 14 MINUTES 08 SECONDS WEST A DISTANCE OF 204.16 FEET TO A POINT ON THE WEST LINE OF SAID LOT 3 (ALSO BEING THE EAST LINE OF ILLINOIS STATE TOLL HIGHWAY COMMISSION PERMANENT EASEMENT E-2-63.1); THENCE NORTH 02 DEGREES 49 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 3 A DISTANCE OF 203.87 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 7: PERPETUAL EASEMENT FOR THE BENEFIT OF PARCELS 5 AND 6 AS CREATED BY AN INSTRUMENT RECORDED ON JANUARY 19, 1961, IN DUPAGE COUNTY, ILLINOIS, AS DOCUMENT 993993, AND ASSIGNMENT RECORDED AS DOCUMENT NO. R67-9069 AND AUTHORIZATION RECORDED AS DOCUMENT NO. R74-03288 TO ENTER UPON THE PROPERTY DESCRIBED DESCRIBED TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE THEREOF FOR LANDSCAPING PURPOSES AND UPON ALL DRIVEWAYS TOGETHER WITH THE RIGHT OF FREE ACCESS TO AND USE OF THE SURFACE THEREOF FOR CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, REPAIR AND USE OF SERVICE AND PRIVATE DRIVES AND AREAS FOR PARKING OF VEHICLES INCLUDING THE PAVING AND IMPROVING OF SUCH SURFACE AREAS FOR SAID PURPOSES AND FOR NO OTHER PURPOSE.

PARCEL 8: EASEMENT FOR THE BENEFIT OF PARCELS 5 AND 6 AS CREATED BY DECLARATION AND GRANT OF EASEMENTS MADE BY LA SALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 3, 1971 AND KNOWN AS TRUST NUMBER 43529; LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED DECEMBER 27, 1976 AND KNOWN AS TRUST NUMBER 51894, DATED MAY 27, 1977 AND RECORDED NOVEMBER 1, 1977 AS DOCUMENT NO. R77-100235, OVER AND UPON ALL DRIVEWAYS AS IDENTIFIED ON EXHIBIT "D" ATTACHED THERETO.

PARCEL 9: NON-EXCLUSIVE, PERPETUAL EASEMENT FOR THE BENEFIT OF PARCELS 5 AND 6 FOR INGRESS AND EGRESS AND PARKING, UNDER AND BY VIRTUE OF THESEASEMENTS, COVENANTS AND RESTRICTIONS AGREEMENT RECORDED JUNE 20, 1995 AS DOCUMENT NO. R95-075460, ON, OVER AND ACROSS THOSE PORTIONS OF THE PROPERTY DESCRIBED THEREIN.

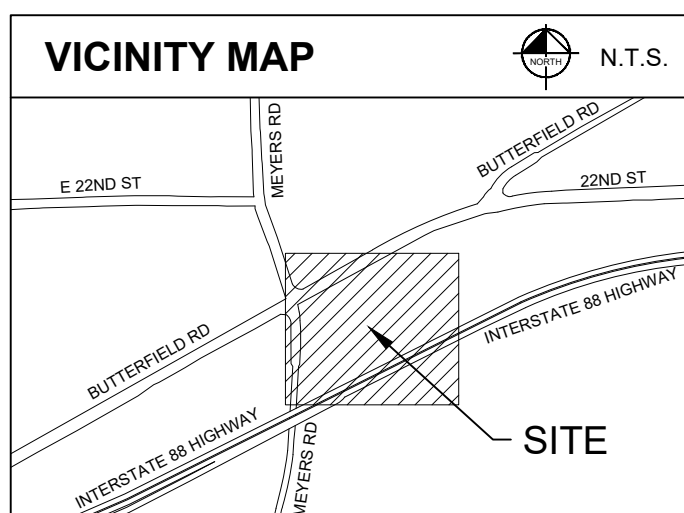
PARCEL 10: THAT PART OF LOT 8-2 LYING EAST OF MYERS ROAD AND LOT 8-1 LYING EAST OF MYERS RD, AS SHOWN ON THE NORTHERN ILLINOIS GAS COMPANY YORK TOWNSHIP ASSESSMENT PLAT NUMBER 1, IN TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED AS DOCUMENT NO. R64-28042, IN DUPAGE COUNTY ILLINOIS.

TITLE NOTES:

(PURSUANT TO COMMITMENT FOR TITLE INSURANCE, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 25012315NOWF, WITH AN ISSUE DATE NOVEMBER 14, 2025).

SCHEDULE B PART II, TITLE EXCEPTION TABLE

EXCEPTION NUMBER	DOCUMENT NUMBER	DESCRIPTION	PLOTTABLE	NOTATION
1-15, 74, 75	N/A	General Exceptions	No	No Comment
K 16	R2025-039179	Mortgage, Assignment of Leases and Rents, Security Agreement and Fixture Filing	No	Not a Survey Matter
L 17	R2025-039180	Assignment of Agreements Affecting Real Estate	No	Not a Survey Matter
M 18	U2025-000718 U2025-000788	A financing statement	No	Not a Survey Matter
N 19	R2022-053613	Mortgage, Security Agreement, Fixture Filing and Assignment of Leases and Rents	No	Not a Survey Matter
O 20	R2022-053614	Assignment of Leases and Rents	No	Not a Survey Matter
P 21	R2022-053616	Mortgage, Security Agreement, Fixture Filing and Assignment of Leases and Rents	No	Not a Survey Matter
Q 22	R2022-053617	Assignment of Leases and Rents	No	Not a Survey Matter
T 23	N/A	The search did not disclose any open mortgages or deeds of trust of record, therefore the Company reserves the right to require further evidence to confirm that the property is unencumbered, and further reserves the right to make additional requirements or add additional items or exceptions upon receipt of the requested evidence	No	Not a Survey Matter
U 24	N/A	If work has been performed on the Land within the last six months which may subject the Land to liens under the mechanics lien laws	No	Not a Survey Matter
V 25	N/A	Any lien, or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records	No	Not a Survey Matter
W 26	N/A	Requirements to the issuance of any title insurance	No	Not a Survey Matter
X 27	N/A	Requirements to the issuance of any title insurance	No	Not a Survey Matter
Y 28	N/A	Requirements to the issuance of any title insurance	No	Not a Survey Matter
Z 29	N/A	Requirements to the issuance of any title insurance	No	Not a Survey Matter
AA 30	N/A	Requirements to the issuance of any title insurance	No	Not a Survey Matter
AU 31	N/A	All assessments and fees, including special assessments or payments due to others, such as master associations, are paid in full through the date of closing	No	Not a Survey Matter
AB 32	N/A	Existing unrecorded leases and all rights thereunder of the lessees and of any person or party claiming by, through or under the lessees.	No	Not a Survey Matter
BN 33	R78-21519	An unrecorded lease with certain terms, covenants, conditions and provisions set forth	No	Not a Survey Matter
BO 34	R78-22300	An unrecorded lease with certain terms, covenants, conditions and provisions set forth	No	Not a Survey Matter
R 35	R2022-053615	Lease Agreement	No	Not a Survey Matter
S 36	R2022-053618	Lease Agreement	No	Not a Survey Matter
AC 37	N/A	For any special service areas and/or sanitary districts referenced below as a Schedule B Exception, a full payment letter must be presented in conjunction with any deed to be recorded	No	Not a Survey Matter
AD 38	R2009-037066	Terms and conditions of the Flag Creek Water Reclamation District amended ordinance 756	No	Not a Survey Matter
AE 39	R66-4660	Subject to Perpetual Easement to Commonwealth Edison Company	Yes	Affects Parcel 1
AF 40	R69-87 R74-43011	Subject to Order by the State of Illinois, Department of Public Works and buildings, division of highways, establishing federal aid route 131 as a freeway and providing that access between said freeway and abutting lands is to be permitted only at entrances provided for that purpose under permits from said department	Yes	As Shown
AG 41	R72-00004	Subject to Easements for storm water retention and drainage purposes of 114 feet along the Northwesterly line of the Land	Yes	Affects Parcel 1 and Parcel 5
AH 42	R70-15974	Subject to an Easement to Commonwealth Edison Company	Yes	Affects Parcel 1
AI 43	R72-2	Terms, restrictions and conditions contained in agreement by and between Village of Oak Brook and Oak Brook International Office Center.	No	Blanket Affects Parcels 1, 5, 6
AJ 44	R74-38420	Subject to an Easement to I.D.O.T. for drainage improvements	Yes	Affects Parcel 1
AK 45	R77-82589	Subject to an Easement to the Commonwealth Edison Company, an Illinois Corporation and the Illinois Bell Telephone Company	Yes	Affects Parcel 1
AL 46	R68-2840	Subject to an Easement agreement made by Northern Illinois Gas Company, a corporation of Illinois, to the Commonwealth Edison Company	Yes	Affects Parcels 7, 10
AM 47	R61-993993 R67-9069 R73-62108	Subject to Terms, provisions and conditions relating to the easement recorded on January 19, 1961, in DuPage county, Illinois, as document 993993, Assignment recorded as document R67-9069 and authorization recorded as document R73-62108	Yes	Affects Parcel 10
AN 48	R77-82588	Subject to Grant of Easement to the Commonwealth Edison Company, an Illinois Corporation and the Illinois Bell Telephone Company, an Illinois Corporation	Yes	Affects Parcel 1
AO 49	R77-100235	Subject to Easements contained in declaration and grant of easements for Ingress and Egress over and upon all sidewalks, walkways, aisles and driveways as identified on exhibit "D" For access to and from buildings and parking areas to and from public streets and highways which adjoin the project land.	Yes	Affects Parcels 1, 5, 6
AP 50	R78-85455	Subject to an Easement to Commonwealth Edison Company	Yes	Affects Parcel 1
AQ 51	R2011-016729	Subject to Terms, conditions and provisions contained in Village of Oak Brook Ordinance 2010-zo-su-EX1-s-1293 approving a special use to allow Olivet Nazarene University to operate a non residential school on the property commonly known as 2809 Butterfield Road	No	Blanket Affects Parcels 1
AR 52	R2013-42073	Terms, covenants, conditions and rights as contained in the monument sign agreement	No	Blanket Affects Parcels 1, 5, 6
AS 53	R2013-42072	Subject to Terms, covenants, conditions, restrictions and easements as contained in the cable agreement	Yes	Affects Parcels 1
AT 54	R2025-047935	Terms, provisions and limitations as contained in Memorandum of Mezzanine Financing	No	Not a Survey Matter
AV 55	N/A	This commitment or policy, when issued, should not be construed as insuring the location of the roadways described in Parcel 7	No	Not a Survey Matter
AW 56	R69-50646	Covenants and restrictions contained in Trustee's Deed relating to plans, signs, specifications and locations of buildings to be erected on the Land	No	Affects Adjoining Property to the east
AX 57	R72-43504	Subject to an Easement to the Illinois Bell Telephone Company	Yes	Affects Parcels 5
AY 58	R77-82590	Subject to an Easement to Commonwealth Edison Company, a corporation of Illinois, and the Illinois Bell Telephone Company	Yes	Affects Parcels 5, 6
AZ 59	R72-28076	Subject to an Easement to Commonwealth Edison Company, a corporation of Illinois, and the Illinois Bell Telephone Company	Yes	Affects Parcels 5, 6
BA 60	R77-100235	Subject to Declaration and Grant of Easements over and upon all driveways	Yes	Affects Parcels 1, 5, 6
BB 61	R95-72664	Subjects to Building Setbacks	Yes	Affects Parcels 5 and 6
BC 62	R95-075460	Subject to Easements, Covenants and Restrictions Agreement relating to reciprocal easements for Ingress, Egress and parking, utilities and drainage, common areas and expenses incurred Thereunder, together with such further provisions contained therein.	No	Blanket Affects Parcels 5, 6
BD 63	R2013-110652	Notice of Fire Alarm & Burglar Alarm Equipment Installed and owned by Chicago-Metropolitan Fire Prevention Company	No	Blanket Affects Parcel 5
BE 64	R2013-110654	Notice of Fire Alarm & Burglar Alarm Equipment Installed and owned by Chicago-Metropolitan Fire Prevention Company	No	Blanket Affects Parcel 6
BF 65	R66-4660	Subject to Perpetual Easement to Commonwealth Edison Company	Yes	Affects Parcel 1, 2, 3, 6
BG 66	R68-35431	Subject to a permanent, perpetual and non-exclusive Easement for an underground storm sewer	Yes	Affects Parcel 6
BH 67	R70-15974	Subject to an Easement to Commonwealth Edison Company	Yes	Affects Parcel 1, 2, 3, 6
BI 68	R77-82588	Subject to an Easement to the Commonwealth Edison Company, an Illinois Corporation and the Illinois Bell Telephone Company	Yes	Affects Parcel 1
BJ 69	R77-82589	Subject to an Easement to the Commonwealth Edison Company, an Illinois Corporation and the Illinois Bell Telephone Company	Yes	Affects Parcel 1
BK 70	R61-993993	Terms and conditions relating to easements, use and cost and maintenance over the Northern Illinois Gas Company right of way.	No	Blanket Affects all Parcels
BL 71	R2022-049723	Subject to an Easement to Commonwealth Edison Company	Yes	Affects Parcel 5
BM 72	R2022-049722	Subject to an Easement to Commonwealth Edison Company	Yes	Affects Parcel 6
BR 73	N/A	Terms, provisions, and conditions relating to the easement described as Parcels 2, 3, 4, 7, 8 and 9 contained in the instrument creating said easement.	No	Not a Survey Matter
		Rights of the adjoining owner or owners to the concurrent use of said easement.		



TAX PIN'S PARCEL 1: 06-28-104-009
 06-28-202-020
 TAX PIN PARCEL 5: 06-28-104-015
 TAX PIN'S PARCEL 6: 06-28-104-011
 06-28-104-013
 TAX PIN'S PARCEL 10: 06-28-104-014
 06-28-202-010

FLOOD STATEMENT:

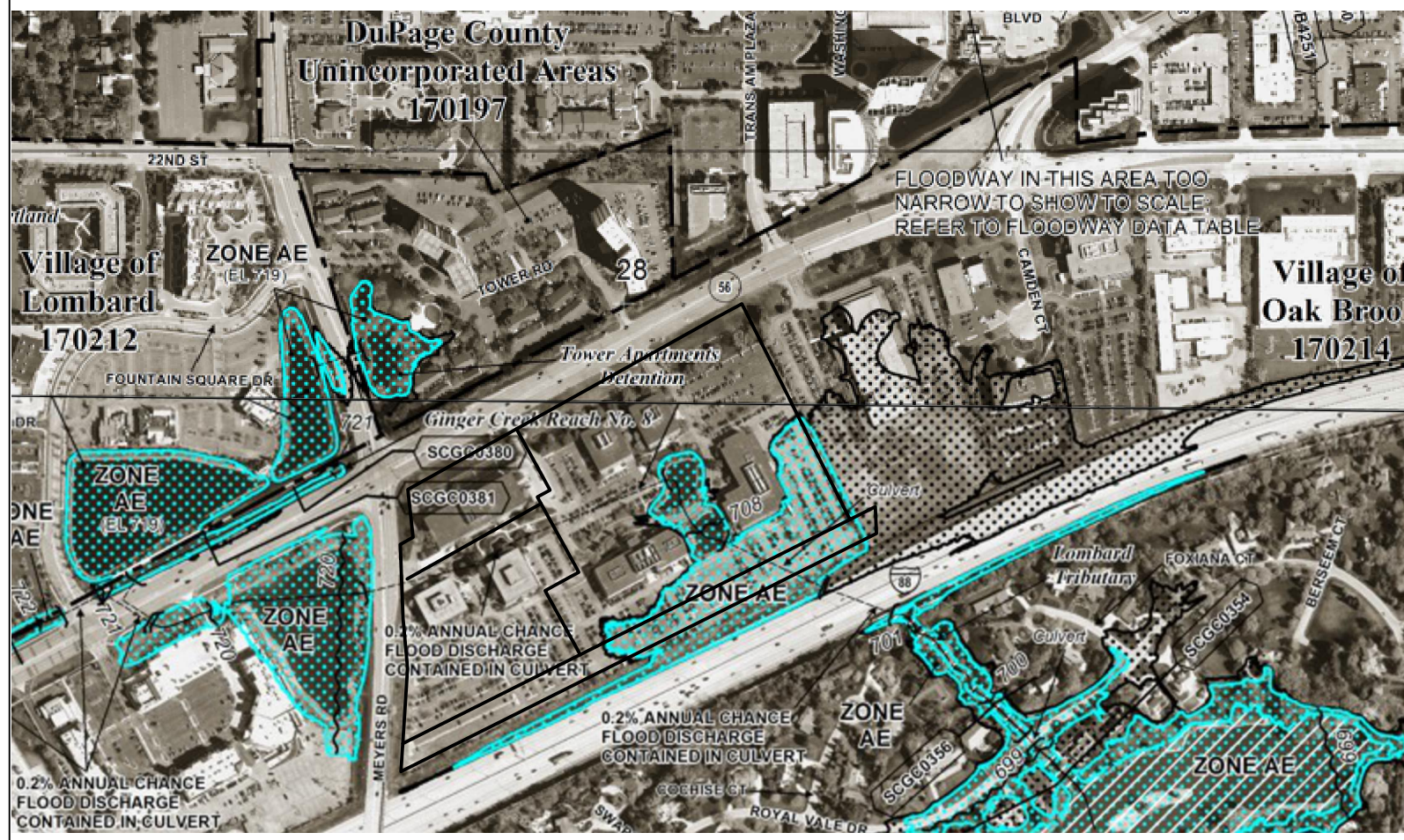
ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 17043C0176J, DATED 08/01/2019 AND FLOOD INSURANCE RATE MAP NO. 17043C0178J, DATED 08/01/2019, FOR DUPAGE COUNTY, ILLINOIS AND INCORPORATED AREAS. THIS PROPERTY IS LOCATED WITHIN

ZONE X (UNSHADED) DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

ZONE AE DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" AND "BASE FLOOD ELEVATIONS DETERMINED".

OTHER FLOOD AREAS, ZONE X DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD"

IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

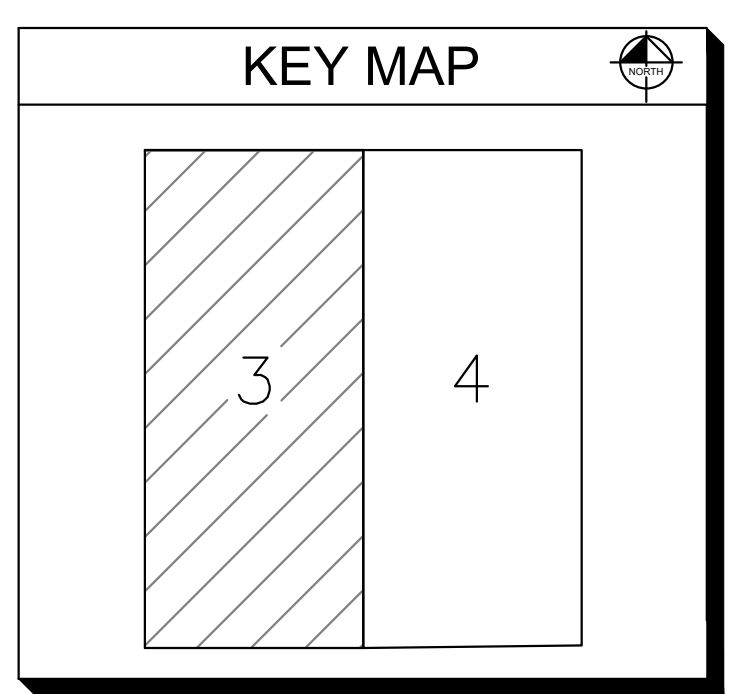


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TAX PIN'S PARCEL 1: 06-28-104-009
 06-28-202-020
 TAX PIN PARCEL 5: 06-28-104-015
 TAX PIN'S PARCEL 6: 06-28-104-011
 06-28-104-013
 TAX PIN'S PARCEL 10: 06-28-104-014
 06-28-202-010

ALTANSPS LAND TITLE SURVEY

HATCH LEGEND	
	BUILDING OUTLINE AREA
	CONCRETE AREA
	ASPHALT PAVEMENT AREA
	POND AREA
	GRAVEL PAVEMENT AREA
	DETECTABLE WARNING PAD



BASIS OF BEARINGS
 ALL BEARINGS SHOWN ARE BASED ON GRID NORTH OF THE ILLINOIS COORDINATE SYSTEM OF 1983, EAST ZONE (1201), NORTH AMERICAN DATUM OF 1983.

No.	DATE	REVISION DESCRIPTION

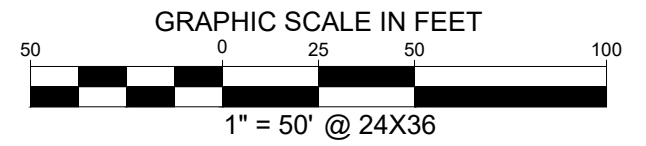
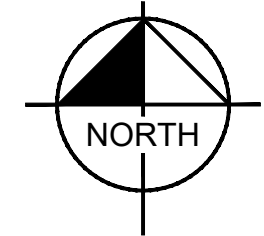
Kimley»Horn
 4201 Winfield Road, Ste 600
 Warrenville, Illinois 60555
 Tel. No. (630) 487-5550
 www.kimley-horn.com

Scale: 1" = 50'
 Drawn by: AJ
 Checked by: BAS
 Date: 02/04/2026
 Project No.: 049561356
 Sheet No.: 3 OF 4

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TAX PIN'S PARCEL 1: 06-28-104-009
 06-28-202-020
 TAX PIN PARCEL 5: 06-28-104-015
 TAX PIN'S PARCEL 6: 06-28-104-011
 06-28-104-013
 TAX PIN'S PARCEL 10: 06-28-104-014
 06-28-202-010

ALTANSPS LAND TITLE SURVEY



BASIS OF BEARINGS

ALL BEARINGS SHOWN ARE BASED ON GRID NORTH OF THE ILLINOIS COORDINATE SYSTEM OF 1983, EAST ZONE (1201), NORTH AMERICAN DATUM OF 1983.

LINE TYPE LEGEND

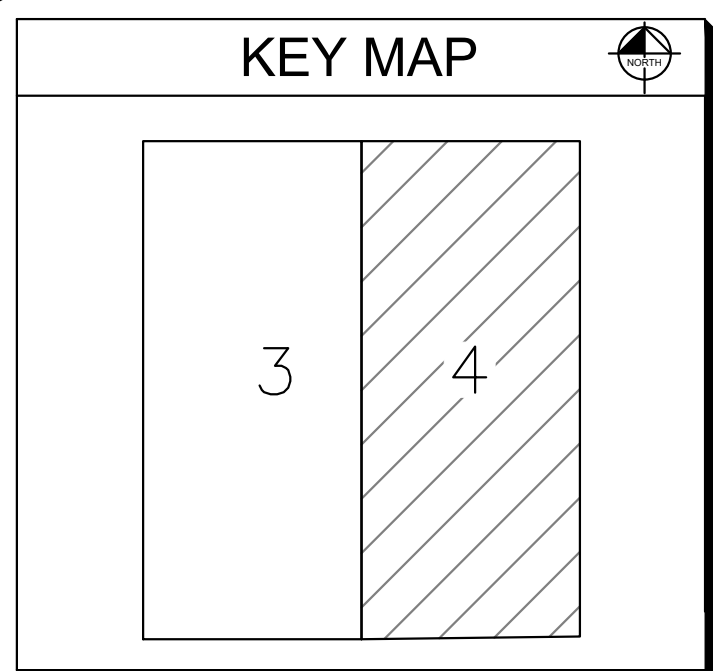
	GAS		UNDERGROUND GAS LINE
	OVERHEAD UTILITY LINE		UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE		FENCE
	UNDERGROUND CABLE		GUARD RAIL

PART OF LOT 1 IN BUTLER CO. M-1 INC. A.P. 2 SUB. PER DOC. R1964-024069
 PIN: 0628202017
 OWNER: 2625 BUTTERFIELD LLC & WC

SYMBOL LEGEND

	SURVEY BENCHMARK		SIGN POST
	LIGHT POLE WITH ARM		STREET LIGHT POLE
	SQUARE STORM INLET		STORM MANHOLE
	WATER VALVE		FIRE HYDRANT
	WATER MANHOLE		WATER BOX
	SANITARY MANHOLE		SANITARY CLEANOUT
	ELECTRIC METER		HANDHOLE
	GAS VALVE		CABLE MARKER SIGN
	TREE		MAILBOX
	COMMUNICATIONS VAULT		PHONE MANHOLE
	COMMUNICATIONS MANHOLE		ELECTRIC MAHOLE
	FIBER OPTIC MANHOLE		ELECTRIC VAULT
	LIGHT POLE BASE		ELECTRIC DOUBLE HANDHOLE
	CATV BOX		FIBER OPTIC HANDHOLE
	PHONE BOX		FIBER OPTIC DOUBLE HANDHOLE
	GROUND FLOOD LIGHT		PARKING LOT LIGHT POLE
	BOLLARD		STORM BEEHIVE INLET
	SANITARY CLEANOUT		GAS METER
	ROUND STORM INLET		TRAFFIC MANHOLE
	CULVERT		AC UNIT
	FLARED END SECTION		TITLE NOTE BOXES

KEY MAP



Kimley»Horn

4201 Winfield Road, Ste 600
 Warrenville, Illinois 60555
 Tel. No. (630) 487-5550
 www.kimley-horn.com

Scale: 1"=50'
 Drawn by: AJ
 Checked by: BAS
 Date: 02/04/2026
 Project No.: 049561356
 Sheet No.: 4 OF 4

No.	DATE	REVISION DESCRIPTION

**VILLAGE OF OAK BROOK
Planning & Zoning Commission**

DATE: June 24, 2026

CASE NOS: **2026-8-ZO-COA** (PZ-26-2 & PZ-26-3)

DESCRIPTION: Certificates of Appropriateness (COA) – Two (2) new Single-Family Homes Construction one each on Lot 1 and Lot 2

PETITIONER: Mark Daniel (Daniel Law Office, P.C.)

ADDRESS: 3715 Spring Road Lot 1 (PIN: 0636308032) and Lot 2, on Washington St (PIN: 0636308033)

EXISTING ZONING: R-3 Single-Family Residence District

ACREAGE: Lot 1- 29,126 square feet (or .67 acres), Lot 2- 25,150 square feet (or .58 acres).

ZONING/USE OF SURROUNDING PROPERTY:

North: R-2, Single-Family Detached Residence District with single-family homes. Spring Road runs along the north property line of Lot 1.

South: R-3, Single-Family Detached Residence District and is improved with a single-family home

East: R-3, Single-Family Detached Residence District and is improved with a single-family home

West: R-2, Single-Family Detached Residence District and is improved with Faith Fellowship Church and St. John’s Cemetery

STAFF REPORT – SAHLI
3715 SPRING ROAD
CERTIFICATE OF APPROPRIATENESS – 2 NEW SINGLE-FAMILY HOMES
CASE No. 2026-8-ZO-COA



3715 Spring Road

DISCUSSION:

Mark Daniel, the applicant with the consent of the property owners is seeking a Certificate of Appropriateness (COA) to build two (2) new single family homes, on lots at 3715 Spring Road. Lot 1 (north lot) has an existing single family home and Lot 2 (south lot on Washington Street) has a barn and shed structure that is proposed to be demolished to construct the new homes. A previous application for COA to build a single-family home on Lot 2 was denied by the Village Board in March 2022 and referred back to the P&Z Commission with comments/ concerns. The current application includes additional documentation and responses intended to address the Board's 2022 feedback. The Board's comments/ concerns are listed below.

- Impact on the Streetscape of the proposed home relative to what currently exists on the re-subdivided parcel in accordance with Section 13-8-7(A);
- Impact on the order and control of growth in the area in accordance with Section 13-8-3;
- Impact of development in the area consistent with Graue Mill, its site, and the historic period it represents per Section 13-8-3(C);
- Both front rear and side yard setback lines consistent with the area;

**STAFF REPORT – SAHLI
3715 SPRING ROAD
CERTIFICATE OF APPROPRIATENESS – 2 NEW SINGLE-FAMILY HOMES
CASE NO. 2026-8-ZO-COA**

- Impact of the height of the proposed subject structure relative to the height of other structures within the area;
- Impact a second structure in the area would have on the development of the area and the Streetscape in the area;
- Impact a front, rear, and side setbacks will have on the location of a second structure in the area;
- Orientation of the proposed structure on the lots;
- Impact the height of a second structure will have on an area; and
- Impact of two smaller lots on the area even if such lots are conforming.

Certificate of Appropriateness

In summary, the properties and proposed single-family homes are located in the Historic Graue Mill Gateway Area, otherwise referred to as Gateway Area. In accordance with the code, no construction, exterior alteration or repair of any building or structure in the Gateway Area can occur without satisfying the requirements of the Gateway Area provisions. An affirmative appearance review will qualify the project for a COA approval if the President and Board of Trustees are amenable to the request.

Section 13-8-6 (A and B) of the Zoning Ordinance discusses the COA Requirements, Application and Hearing Process.

Gateway Development Plan

Section 13-8-3 of the Zoning Ordinance discusses the requirements for a Gateway Development Plan and the criteria that must be met to obtain a COA.

The specific code criteria has been identified below with a revised staff review/commentary for each category.

A. Relationship of Proposed Building to Site and adjoining area.

1. The provisions, where practical, of setbacks in excess of zoning restrictions to providing interesting relationship between buildings;
2. The treatment of parking areas with decorative elements, building wall extensions, plantings, berms or other innovative means so as to screen parking from view;
3. The underground installation of newly installed utility services, and service revisions necessitated by exterior alterations.

Comments – The proposal for both lots comply with the minimum requirements of the R-3 district with regard to building setbacks and lot coverage. Setbacks for the R-3 district are 40’ front, 12’ interior side yard, 23’ side yard for side load garage and 40’ rear yard.

**STAFF REPORT – SAHLI
3715 SPRING ROAD
CERTIFICATE OF APPROPRIATENESS – 2 NEW SINGLE-FAMILY HOMES
CASE NO. 2026-8-ZO-COA**

Staff recommends increasing the front yard setback beyond minimum the required setback for Lot 1 because the front property line extends to a portion of Spring Road, which would otherwise place the proposed residence noticeably closer to the street.

Per previous staff report for Lot 2, staff is recommending that the north (interior side) and east (rear yard) setbacks be increased beyond the minimum required setback to be in keeping with the intent and purpose of the Gateway Development Plan criteria. Section 13-8-7(A)(1) states that “the provision, where practical, of setbacks in excess of zoning restrictions to provide interesting relationships between buildings.”. This site design consideration is even more important to “plan for” future redevelopment in the Graue Mill Area. It is important to establish this standard early to both maintain open space and be sensitive to the relationships between single-family homes in the area. One of the main reasons this area is desirable is because of the focus on open space with the proximity to Graue Mill and Salt Creek. DuPage County Forest Preserve District has also purchased the property at 3721 Spring Road (formerly owned by Joe Rush) for additional passive open space. Staff is recommending increasing the north (interior side) and east (rear) yard setbacks beyond the minimum required setback.

The Lot Coverage (37.3 %), Floor Area Ratio (29.28%), Principal Building Lot Coverage (10.74%) and height (40’) for Lot 1 comply with the zoning regulations. The Lot Coverage (29.85 %) and height of the structure (40’) for Lot 2 also comply with the zoning regulations. Floor Area Ratio and Principal Building Lot Coverage information has not been provided for Lot 2.

B. Building Design.

1. The quality of the design and its relationship to the Graue Mill, its site, and the historic period it represents;
2. The compatibility of the design, arrangement, texture, and materials of the proposed buildings or structures with the intent and purpose of the area;
3. The screening and location of mechanical equipment or other utility hardware on roof, ground, or buildings from public view with materials harmonious to the building, so as not to be visible from any public ways;
4. The unobtrusiveness and harmoniousness of exterior lighting and the compatibility of fixtures, standards, and all exposed accessories with the building design.

Comments – The petitioner references (and depicts) a wide variety of concepts, designs and styles of architecture within the Gateway Area. That being said, the focus of staff’s building design review was only focused on the individual architectural elements being proposed as opposed to a specific architectural style or theme because it varies considerably in the Gateway Area.

**STAFF REPORT – SAHLI
3715 SPRING ROAD
CERTIFICATE OF APPROPRIATENESS – 2 NEW SINGLE-FAMILY HOMES
CASE NO. 2026-8-ZO-COA**

Lot 1 architectural elevation shows use of stone in the exterior facades. The architectural elevations for Lot 2 that have been provided identify elements such as brick/stone building materials, stone window surrounds, recessed doors, louvers, lantern style light fixtures, chimney height/width, window proportions, roof/gutter/fascia, copper roof overhangs and barn-style garage doors. These elements are attractive and compatible with Graue Mill and Faith Fellowship Church and are represented in the appearance review package. In analyzing the neighborhood, it is clear that no specific architectural style or design is prevalent but that the individual architectural elements have been utilized in this home design to be compatible and incorporate some of the historic past into the modern design that is being proposed. All of these material improvements are acceptable and appropriate.

Mechanical units and visual screening is shown for exterior mechanical units for both lots. The north Lot 1 has HVAC units located on the south elevation in the rear yard and in the northeast corner of the south Lot 2. Landscape plans have been provided by the property owner that adequately screen the mechanical equipment from the neighboring properties and public ROW. All of these landscaping improvements are acceptable and appropriate.

F. Site Plan.

1. Exact location of the buildings or structures on the site;
2. Exact location of drives, walks, parking areas, parking layout, freestanding or retaining walls, fences, and drainage accommodations;
3. Elevations showing all sides of the proposed structure. Elevations should indicate the type of materials to be used on the structure as well as their proportions;
4. Existing grades or topographical details to be retained and proposed grading;
5. Location of utilities.

Comments – The site plan/design comments are the same as subsection A. above. Increasing the front yard setback for Lot 1 and the north (interior side) and east (rear) setbacks for Lot 2 would meet the intent and purpose of the development plan criteria but also be practical and not onerous from a site design perspective. Grading and utilities will be further vetted as part of a future building permit process and reviewed by the Village Engineer for compliance with the Oak Brook engineering requirements and storm water ordinance.

The applicants proposed easements are a resolution of previous discussions with the Village. Staff will require recordation of this document prior to approval of the building permit. This comment is for information and not related to consideration of the COA.

**STAFF REPORT – SAHLI
3715 SPRING ROAD
CERTIFICATE OF APPROPRIATENESS – 2 NEW SINGLE-FAMILY HOMES
CASE No. 2026-8-ZO-COA**

RESPONSIBILITIES OF HEARING BODIES:

Prior to making its decision, the Planning & Zoning (P&Z) Commission may make recommendations to the applicant as to changes in the exterior drawings, sketches, landscaping, site plans and materials which in the judgment of the commission would tend to affect the general purposes of the Historic Graue Mill Gateway Area requirements. The P&Z Commission shall make its decision and shall issue to the President and Board of Trustees its findings and recommendation concerning the proposed gateway development plan. If the P&Z Commission recommends denial of a gateway development plan, it shall specifically point out such deficiency in its findings.

The Village President and Board of Trustees may approve or disapprove the proposed gateway development plan or refer the matter back to the P&Z Commission for further consideration. Upon approval of any proposed gateway development plan, the President and Board of Trustees shall issue a certificate of appropriateness as to the approved gateway development plan.

STAFF RECOMMENDATION:

Staff has reviewed the petition and finds that the application materials are generally well done. The petitioner's appearance review materials incorporates a well thought out analysis of the Gateway Area and incorporates many architectural elements and high quality building materials in their design.


Staff believes that increases to the mentioned setbacks are appropriate so as to be in keeping with the intent and purpose of the development plan criteria of the Graue Mill district.

CONCLUSION:

If the Commission concurs with staff, a recommendation that the applicant has satisfied the requirements for a certificate of appropriateness in the Historic Graue Mill Gateway Area, and a recommendation to approve the COA should be made subject the following findings.

1. Increased open space is a desirable attribute to preserve the Graue Mill area which directly adjoins and is in close proximity to the mill, Salt Creek and forest preserve properties. Setbacks that exceed the underlying R-3 zoning requirements would create interesting and more appropriate relationships and spacing between buildings.

Respectfully Submitted,



Rama Raman
Village Planner



Rebecca Von Drasek
Development Services Director



ITEM 6.D.2.
BOARD OF TRUSTEES MEETING
SAMUEL E. DEAN BOARD ROOM
BUTLER GOVERNMENT CENTER
1200 OAK BROOK ROAD
OAK BROOK, ILLINOIS
630-368-5000

AGENDA ITEM

Board of Trustees Special Meeting
of
June 16, 2026

SUBJECT: Referral - 3715 Spring Road (north Lot and south lot)– Certificates of Appropriateness (COA) for Single-Family Residences

FROM: Rebecca Von Drasek, Development Services Director

BUDGET SOURCE/BUDGET IMPACT: N/A

RECOMMENDED MOTION: I move that the Village Board refer this appearance review for two single-family homes to the Planning & Zoning Commission for Certificates of Appropriateness in the Historic Graue Mill Gateway Area.

Background/History:

Mark Daniel (Daniel Law Office, P.C.) with the consent of the property owners, has submitted an application requesting a Certificate of Appropriateness (COA) in the Historic Graue Mill Gateway Area for two (2) single-family homes at 3715 Spring Road and the at the lot to the south (Washington Street). The project would include the demolition of the existing single-family home on the north lot and shed structure on the south lot for the construction of a new single-family home on each lot. The properties are zoned R-3 Single-Family Residence and located on the southeast corner of Spring Road and Washington Street.

The subject property (both lots) was previously included as part of a zoning/subdivision petition in 2017 for a two-lot subdivision that included lot size variations. The entitlement process was never completed and the property owner has since pursued and recorded a two (2)-lot deed division. The deed division created two (2) lots that are 29,086 sf and 25,150 sf in area respectively.

Chapter 8 Historic Graue Mill Gateway Area of the Zoning Code has been provided as an attachment for reference purposes. More specifically, Section 13-8-7 of the Gateway Development Plan is identified below and states the criteria to be reviewed:

“A. Relationship Of Proposed Buildings Or Structures To Site And Adjoining Area: The site shall be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas, and shall be evaluated pursuant to the following criteria:

1. *The provision, where practical, of setbacks in excess of zoning restrictions to provide an interesting relationship between buildings.*
2. *The treatment of parking areas with decorative elements, building wall extensions, plantings, berms or other innovative means so as to screen parking from view;*
3. *The underground installation of newly installed utility services, and service revisions necessitated by exterior alterations.*

B. Building Design: Evaluation of the appearance of a project shall be based on the following criteria:

1. *The quality of the design and its relationship to the Graue Mill, its site, and the historic period it represents;*
2. *The compatibility of the design, arrangement, texture, and materials of the proposed buildings or structures with the intent and purpose of the area;*
3. *The screening and location of mechanical equipment or other utility hardware on roof, ground, or buildings from public view with materials harmonious to the building, so as not to be visible from any public ways;*
4. *The unobtrusiveness and harmoniousness of exterior lighting and the compatibility of fixtures, standards, and all exposed accessories with the building design.”; and*

“F. Site Plan: A detailed site plan shall show:

1. *Exact location of the building(s) or structure(s) on the site;*
2. *Exact location of drives, walks, parking areas, parking layout, freestanding or retaining walls, fences, and drainage accommodations;*
3. *Elevations showing all sides of the proposed structure. Elevations should indicate the type of materials to be used on the structure as well as their proportions;*
4. *Existing grades or topographic details to be retained and proposed grading;*
5. *Location of utilities. (Ord. G-272, 11-11-1980; Ord. G-695, 3-26-2002)”.*

Recommendation:

Staff recommends that the Village Board refer the request for the Certificates of Appropriateness to the Planning & Zoning Commission for a public hearing and recommendation. The petition will then come back to the President and Board of Trustees for a decision concerning the issuance of the COAs so that building permits can eventually be issued for the single-family homes.

Attachments:

1. Exhibits - BOT 6-16-26



BUTLER GOVERNMENT CENTER
1200 OAK BROOK ROAD
OAK BROOK, ILLINOIS 60523

June 12, 2026

Dear Resident:

The Oak Brook Planning & Zoning Commission and the Village Board will be considering a Certificates of Appropriateness for two single-family homes.

MEETING DATE AND INFORMATION:

Planning & Zoning Commission.....6:30 p.m., Wednesday, July 1, 2026

Board of Trustees Meeting.....7:00 p.m., Tuesday, August 11, 2026***

*** Pending P&Z

The application has been filed by: Mark Daniel, Daniel Law Office P.C.
17W733 Butterfield Rd, Unit F
Oakbrook Terrace, IL 60181

The properties are located at: 3715 Spring Road and Adjacent South
Property on Washington Street

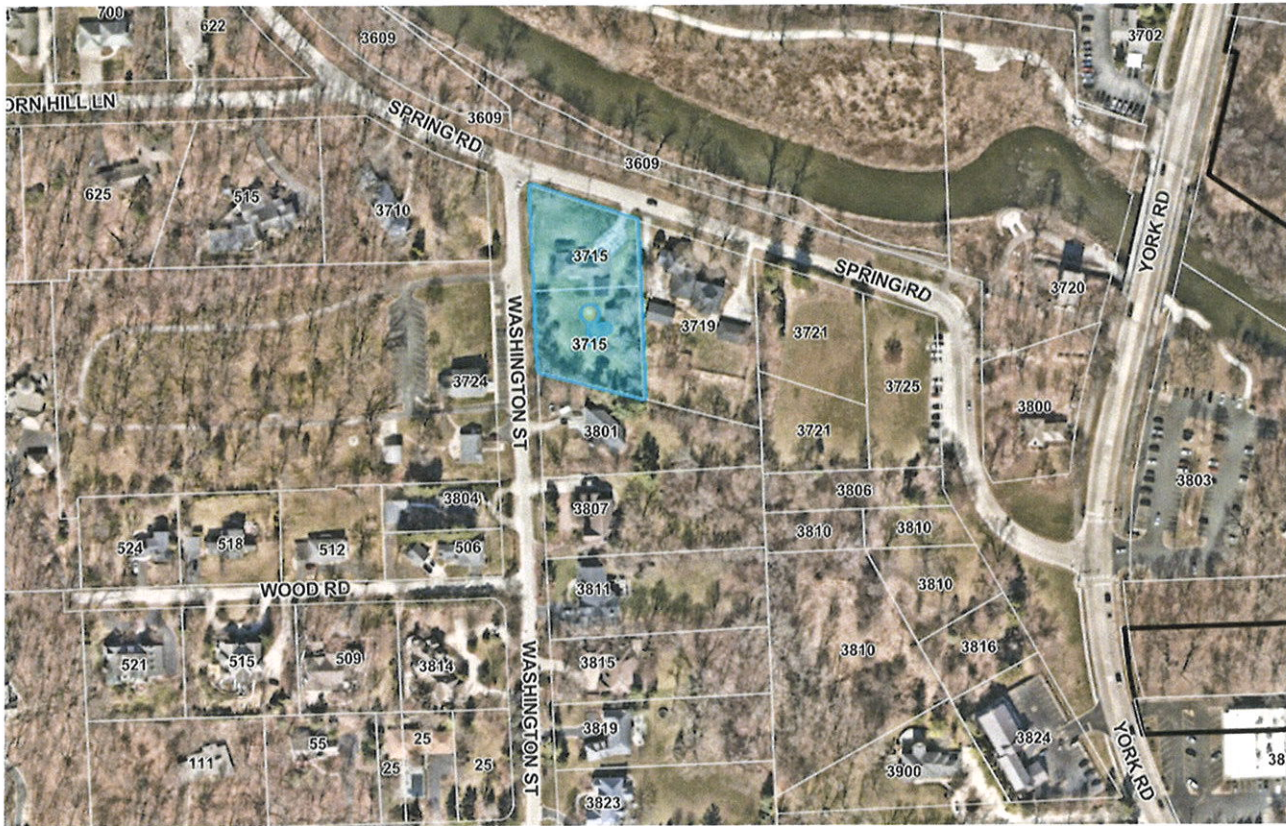
Relationship of applicant to property: Agent

Mark Daniel, Daniel Law Office P.C., with the approval of the owner of the property located at 3715 Spring Road and the adjacent south property on Washington Street (recently subdivided) is seeking approval for the issuance of a Certificate of Appropriateness under Sections 13-8-6 through 13-8-12 of the Zoning Ordinance in compliance with the Historic Graue Mill Gateway Area. The request is to build two single family residences. The properties are located at 3715 Spring Road and the adjacent south property on Washington Street (recently subdivided – see attached map), Oak Brook, Illinois 60523.

For more detailed information of the request, please contact the Development Services Department at 630-368-5103 between 8 AM-4 PM, Monday through Friday, except for holidays.

Sincerely,

Rebecca Von Drasek
Development Services Director



*Note: The map provided is only an approximation of the area in question and is intended to be used only as a visual aid to determine your relationship to the property.

The Village of Oak Brook, in compliance with the Americans with Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting facilities, contact the Village ADA Coordinator at 630-368-5010 as soon as possible before the meeting date.

All meetings are held in the Samuel E. Dean Board Room of the Oak Brook Village Hall, Butler Government Center located at 1200 Oak Brook Road (31st Street) and Spring Road, Oak Brook, Illinois.

Public Notice

NOTICE IS HEREBY GIVEN that a public hearing before the Planning & Zoning Commission of the Village of Oak Brook, DuPage and Cook Counties, Illinois, will be held on Wednesday, July 1, 2026 at 6:30 p.m. in the Samuel E. Dean Board Room of the Butler Government Center, Village of Oak Brook, 1200 Oak Brook Road, Oak Brook, Illinois 60523. The purpose of considering the application from Mark Daniel, Daniel Law Office P.C. with approval of the property owners, 3715 Spring Road, Oak Brook, IL 60523 seeking Certificates of Appropriateness as provided for under Title 13 of the Zoning Ordinance of the Village of Oak Brook, Illinois, Ordinance G-272 to build two single-family homes.

The petitioner is seeking approval for the issuance of Certificates of Appropriateness under Sections 13-8-6 through 13-8-12 of the Zoning Ordinance in compliance with the Historic Graue Mill Gateway Area. The request is to build two single family residences. The properties are located at 3715 Spring Road along with the adjacent south property on Washington Street, Oak Brook, Illinois 60523, with the PINs as follows:

PINs: 06-36-308-032 & 06-36-308-033

The petitioner's application including all supporting documents is on file with the Development Services Department. Persons wishing to examine the application documents may arrange to do so with the Development Services Department, Village of Oak Brook, 1200 Oak Brook Road, Oak Brook, IL 60523, telephone 630-368-5106.

In accord with the provisions of the American with Disabilities Act, any individual who is in need of a reasonable accommodation in order to participate in or benefit from attendance at this public meeting should contact the Butler Government Center (Village Hall), at 630-368-5010 as soon as possible before the meeting date.

Netasha Scarpiniti

Village Clerk

Published at the direction of the Corporate Authorities and the Planning & Zoning Commission of the Village of Oak Brook, DuPage and Cook Counties, Illinois.
Published in Daily Herald June 12, 2026 (335036)

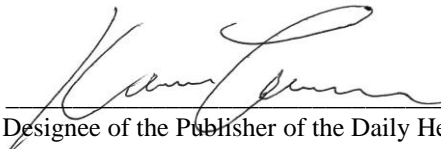
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 06/12/2026 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY  _____
Designee of the Publisher of the Daily Herald

Control # 335036





Record No: PZ-26-3

Planning & Zoning Application

Status: Active

Submitted On: 5/3/2026

Primary Location

3715 SPRING RD
OAK BROOK, IL 60523

Owner

SAHLI, MARIA
3715 SPRING RD OAK
BROOK , IL 60523

Applicant

 Mark Daniel

Unit F

Oakbrook Terrace, IL 60181

Project Information

Type of Property*

Residential

Zoning Ordinance Type*

Certificate of Appropriateness

Date Filed*

05/03/2026

Property Interest of the Applicant*

Agent

Owner of Record*

MARIA SAHLI

Phone*



Address*

17W300 22ND STREET

City, State, Zip*

OAKBROOK TERRACE, IL 60181

Is the property in Trust?*

No

Type of Residential Project*

New Residence

Number of Street Frontages for Public Hearing Signs*

1



Intended Meeting Date*

07/01/2026

Property Information

Subdivision*

Other

Zoning District*

R-3 Single-Family

Zoning Ordinance Section (see title 13 in Village Code)

13-8-6, 13-8-9

Proposed Use/Action Requested*

APPROVAL OF CERTIFICATE OF APPROPRIATENESS FOR NEW SINGLE FAMILY RESIDENCE

Location and Legal Address

ADDRESS UNASSIGNED

Permanent Parcel Number*

636308033

Acknowledgement

I (we) certify that all of the above statements and the statements contained in any documents or plans submitted herewith are true to the best of my (our) knowledge and belief. I (we) give permission to the Village to install public hearing sign(s) on the lot frontages of the above subject property as described in the Village Code. In addition to the above fees, applicant agrees to reimburse the Village for publication costs within 30 days of billing.*

✓ Mark W. Daniel
May 3, 2026

Signature of Applicant: I agree that my electronic signature is equivalent to a handwritten signature and is binding for all purposes related to this transaction.*

✓ Mark W. Daniel
May 3, 2026

AUTHORIZATION AND AFFIDAVIT

The undersigned MARIA SAHLI, wife of MICHAEL SAHLI, is the owner of Parcel 2 in Sahli's Assessment Plat (R2020-077385), assigned PIN 06-36-308-031, and legally described as:

PARCEL 2 IN SAHLI'S ASSESSMENT PLAT, PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED ON JULY 21, 2020 AS DOCUMENT NO. R2020-077385 IN THE OFFICE OF THE RECORDER OF DEEDS, DUPAGE COUNTY, ILLINOIS.

which is also described as follows:

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A MEASURED DISTANCE OF 721.71 FEET (721 FEET RECORD) FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 110.45 FEET; THENCE NORTH 87 DEGREES 59 MINUTES 25 SECONDS EAST A DISTANCE OF 180.93 FEET; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 167.53 FEET; THENCE NORTHWEST AND PARALLEL TO THE CENTERLINE OF SPRING ROAD, A DISTANCE OF 189.75 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

I hereby authorize my MICHAEL SAHLI and SEI BUILDERS as well as MARK W. DANIEL of DANIEL LAW OFFICE, P.C. to seek a certificate of appropriateness for construction on the described property from the Village of Oak Brook under its Graue Mill Gateway Area standards. This authorization is not a power of attorney.

MARIA SAHLI

Dated: June 19, 2026

Subscribe & Sworn to Before Me
on this 19th day of June 2026

Notary Public





Record No: PZ-26-2

Planning & Zoning Application

Status: Active

Submitted On: 5/3/2026

Primary Location

3715 Spring Road

Owner

No owner information

Applicant

Mark Daniel
 630-833-3311 ext. 1
 mark@thedaniellawoffice.com
 17W733 Butterfield Road
Unit F
Oakbrook Terrace, IL 60181

Project Information

Type of Property*

Residential

Zoning Ordinance Type*

Certificate of Appropriateness

Date Filed*

04/30/2026

Property Interest of the Applicant*

Agent

Owner of Record*

First Nations Bank, Trustee Tr. No. 1824

Phone*

63020526000

Address*

17W300 22nd Street

City, State, Zip*

Oakbrook Terrace, IL 60181

Is the property in Trust?*

Yes

Type of Residential Project*

New Residence

Number of Street Frontages for Public Hearing Signs*

2



Intended Meeting Date*

07/01/2026

Property Information

Subdivision*

Other

Zoning District*

R-3 Single-Family

Zoning Ordinance Section (see title 13 in Village Code)

13-8-6, 13-8-9

Proposed Use/Action Requested*

APPROVAL OF CERTIFICATE OF APPROPRIATENESS FOR NEW SINGLE FAMILY RESIDENCE

Location and Legal Address

ADDRESS UNASSIGNED

Permanent Parcel Number*

636308032

Acknowledgement

I (we) certify that all of the above statements and the statements contained in any documents or plans submitted herewith are true to the best of my (our) knowledge and belief. I (we) give permission to the Village to install public hearing sign(s) on the lot frontages of the above subject property as described in the Village Code. In addition to the above fees, applicant agrees to reimburse the Village for publication costs within 30 days of billing.*

✔ Mark W. Daniel (attorney for Applicant)
Apr 29, 2026

Signature of Applicant: I agree that my electronic signature is equivalent to a handwritten signature and is binding for all purposes related to this transaction.*

✔ Mark W. Daniel (attorney for Applicant)
Apr 29, 2026

AUTHORIZATION AND AFFIDAVIT

The undersigned MICHAEL SAHLI, acting as president of SEI BUILDERS, beneficiary of FIRST NATIONS BANK, as trustee, is the owner of Parcel 1 in Sahli's Assessment Plat (R2020-077385), assigned PIN 06-36-308-032, and legally described as:

PARCEL 1 IN SAHLI'S ASSESSMENT PLAT, PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED ON JULY 21, 2020 AS DOCUMENT NO. R2020-077385 IN THE OFFICE OF THE RECORDER OF DEEDS, DUPAGE COUNTY, ILLINOIS.

which is also described as follows:

PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A DISTANCE OF 721 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 300 FEET TO THE CENTER LINE OF A PUBLIC ROAD KNOWN AS SPRING ROAD; THENCE SOUTH 73 DEGREES EAST ALONG CENTER LINE OF SAID SPRING ROAD A DISTANCE OF 189.1 FEET; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 300 FEET; THENCE NORTHWEST AND PARALLEL TO THE CENTER LINE OF SPRING ROAD, A DISTANCE OF APPROXIMATELY 189.1 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS, BUT EXCLUDING THEREFROM THE FOLLOWING TRACT:

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A MEASURED DISTANCE OF 721.71 FEET (721 FEET RECORD) FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 110.45 FEET; THENCE NORTH 87 DEGREES 59 MINUTES 25 SECONDS EAST A DISTANCE OF 180.93 FEET; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 167.53 FEET; THENCE NORTHWEST AND PARALLEL TO THE CENTERLINE OF SPRING ROAD, A DISTANCE OF 189.75 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

FIRST NATIONS BANK, through its beneficiary, hereby authorizes MICHAEL SAHLI and SEI BUILDERS as well as MARK W. DANIEL of DANIEL LAW OFFICE, P.C. to seek a

certificate of appropriateness for construction on the described property from the Village of Oak Brook under its Graue Mill Gateway Area standards. This authorization is not a power of attorney.

FIRST NATIONS BANK, as Trustee, by its beneficiary SEI BUILDERS, under signature of its president

DocuSigned by:
[Redacted]
D3949684CA934F5...

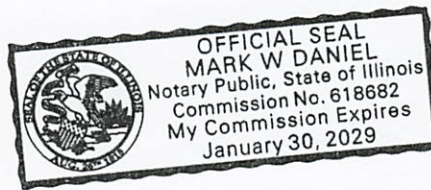
Dated: June 19, 2026

6/19/2026

Subscribe & Sworn to Before Me on this 19th day of June 2026.

[Redacted Signature]

Notary Public



Daniel Law Office, P.C.

May 3, 2026

Via E-Mail (DropBox) & Upload

Hon. Laurence Herman, Village President
Hon. Rajaraman Iyer, Plan Commission Chairman
c/o Rebecca VonDrasek & Cathy Chiarelli
Village of Oak Brook
1200 Oak Brook Road
Oak Brook, Illinois 60523

Re: Parcel 2 Sahli Assmt. Plat (fmrly. 3715 Spring, part of)
Request for Certificate of Appropriateness
P.I.N. 06-36-308-033

Dear President Herman and Chair Iyer:

I represent Maria Sahli, as Applicant for a Certificate of Appropriateness (filed November 15, 2021) for the parcel assigned Permanent Index No. 06-36-308-033, which is one lot south of the property at the southeast corner of the intersection of Spring Road and Washington Street. This information is provided as an update and supplement to the information already on file with the Village in Case No. 2022-01-ZO-CA. In order to comply with formatting in the Village's online application portal, I provided the following items:

1. A copy of Title 13, Chapter 8;
2. A copy of the last tax bill for the property;
3. The surrounding owners' verification, with a map and address label file;
4. The subject property verification;
5. Architectural plans ;
6. An existing conditions survey;
7. Site development plan;
8. List of persons testifying;
9. The Sahli Assessment Plat (R2020-077385);
10. Landscape plan;
11. Legal descriptions;
12. Details sheet;
13. Exhibit depicting current and future lot lines and easements; and
14. A DropBox containing these files.

The response concerning the standards (beginning on Page 6) is premised on the discussion of the development site, the Gateway Area, the neighborhood, and the project on the next four pages of the narrative. This supplemental information is in addition to the materials provided previously.

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First Nations (Parcel 2, Sahli Assmt. Plat)

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I will provide staff with a Powerpoint in advance of hearing. This supplement to request for Certificate of Appropriateness is being processed along with the supplemental information regarding the request for certificate of appropriateness for the northerly neighboring lot owned by First Nations Bank, as trustee (PIN 06-36-308-032).

Property Description

The parcel that is on the lot south of the lot at the southeast corner of the intersection of Spring Road and Washington Street is the south portion of land formerly known as 3715 Spring Road, Oak Brook (PIN 06-36-308-033) (the “**Property**”). The west property line of the Property is within the right of way known as Washington Street. The Property is situated in the Village’s R-3 single-family residence district and meets the minimum width and area requirements.

Like its neighbor to the north, the Property has an area of roughly one-half of an acre. Due to matters that ended up in litigation, the area of the Property and its neighbor will change for various reasons. First, there will be an adjustment of the north property line between the Property and its northerly neighbor. Second, the Applicant plans to dedicate some of her land to the Village as right-of-way. Please see the future lot line and easement exhibit. These changes will not affect the appearance of the Property amid its surroundings since no one recognizes the true boundary between the right of way and private property or that a property line is in an existing right of way.

The Property features standard easements on its perimeter. These easements are also undergoing review with the placement of overhead wires underground. Power poles exist along the west property line. Rights to drainage benefitting 3719 Spring Road (portions of which drain onto the Property) will cause some planning for drainage that is customary in the block and draw water from the north and east. No improvements are planned that will obstruct or slow storm flow from any higher property or increase the rate or volume of flow onto any lower property.

The right-of-way and frontage portions of the Property feature some trees and the area-standard culvert and swale drainage system. Various Village and utility easements line the west side of the Property. There are no sidewalks. Water (west) and sanitary (west) are available within Washington Street.

Ground elevations range from 651 on the east side of the Property down to 648 at the rim of the west street culvert where elevation necessarily drops and to allow drainage north to a catch basin that conveys stormwater to Salt Creek. 3719 Spring Road is the high point in the area, with grades taking water in multiple directions, but the Property will be graded and designed to convey the portion of stormwater from 3719 Spring Road that flows west or southwest.

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Surrounding Area

In November 1980, the Graue Mill Gateway Area was established along with related historic district in Hinsdale that no longer exists following an update to the Hinsdale Zoning Ordinance. The Graue Mill Gateway Area includes most of the York Tavern parcel and extends south to Glendale Avenue, encompassing 34.5 acres of which roughly eight (8) acres, including nearly an acre of wetland and wetland buffer, are zoned and currently used for residential purposes. The Property is one of ten residential lots in the Gateway Area. Nearly 21 acres within the Gateway Area host institutional or governmental use, much of it open space. Commercial use occupies just over four (4) acres east and west of York Road. The remainder is right of way area. This Property is the only known residential lot to become the subject of completed Certificate of Appropriateness proceedings.

Homes in the Graue Mill Gateway Area primarily front the east line of Washington Street. All residential properties in the Gateway Area are designed to allow an alternative to backing from garages into the right of way. Once the home is constructed, all but two homes in the Gateway Area (3719 Spring (detached rear garage) and 3801 Washington Street (front loading)) will have side-loaded garages. There are currently four exterior side-loading garages in the Gateway Area, and two interior side-loading garages. The latter two homes have additional mass in front of the primary residential area. Homes in the block south of Spring Road (other than the home planned for the southeast corner of Spring Road and Washington Street) face west to Washington Street, but the home south of the Property has an angled wall facing southwest (its garage faces west).

Although Fullersburg Woods and York Road are walkable, there are no sidewalks along the residential lots south of Oak Brook Road and east of Illinois Route 83. Sidewalks in near the residential part of the neighborhood serve the immediate uses (St. John's, Graue Mill and Fullersburg Woods).

Homeownership in the area remains steady. Over the last fifteen years, the only transfers of title have been among related family or to family members who may have grown up nearby who bought in the area. The Gateway Area arose after development in the area, so none of the homes in the area have redeveloped under these standards. One of the six Washington Street homes might qualify for a Certificate of Appropriateness under today's standards due to its first-level stone and window design (3811 Washington Street). Due to a lack of like properties, or comparables, it is not possible to evaluate benefits to nearby homes from residential improvements under Gateway Area standards. Among the eight residential lots, none have substantial front yard landscaping while the most screening and planting occurs in the rear yards. This last circumstance is also the result of topography and soil type south and southeast of the Property.

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With the development of the Property, the only structures in the Gateway Area existing in their 1987 form will be Graue Mill, 3801 Washington Street, 3807 Washington Street, and 3821 York Road. Acquisitions on the east side of the block at issue led to demolition of six principal residential structures that existed in 1956, leaving only the home on the Property and 3719 Spring Road—both of which saw additions between the 1970's and today. (The Graue House is no longer residential and changed with the York/Spring realignment.)

3719 Spring Road underwent significant improvements in the 1980's and in 2006, and it has been appropriately maintained in its current structural form for parts of three decades. The owner of 3801 Washington repainted the home and seems to be in the process of replacing a rear deck. 3807 Washington Street continues to be well maintained, with rotations and replacement of landscaping over the years. The last addition to 3811 Washington Street occurred between 1998 and 2006, but maintenance over the more recent years has included landscape maintenance and repair that is more than appropriate for the lot. Following 1987 construction, 3815 Washington Street appears to have added attractive landscaping. 3819 Washington Street was also constructed in 1987 and 1988. Constructed soon after its neighboring homes to the north, the residence at 3823 Washington Street has seen landscaping and patio or deck improvements and the removal or addition of certain services for the home over the past 40 years. The home at 3900 York Road added a westerly patio extension around 2018, but it has not had any material exterior changes other than landscaping improvements since 1998. The Forest Preserve demolished the home at 3721 Spring Road in 2022 or 2023.

3824 York Road (Alan Rocca Fine Jewelry) received a Certificate of Appropriateness. The mixed-use building at the southerly end of the Graue Mill Gateway Area features a stone façade, varied windows that include tall, narrow windows similar to Graue Mill, and varied rooflines and features, including a chimney that rises above and is visible from the street. Commercial lighting has a more historic appearance even though it cannot match lighting from the Graue Mill era. Landscaping essentially wraps the parking lot and freestanding sign and transitions the site at the north end of the commercial property. The home at 3900 York Road was constructed in the 1990's at a time when remnants of the former automotive use facilities remained at 3824 York Road.

The Property abuts the north portion of 3715 Spring Road (PIN 06-36-308-032) (also under review for a Certificate of Appropriateness) and 3719 Spring Road. The neighboring parcel to the north will host a single-family residence with an attached easterly side-loading garage. 3719 Spring Road hosts a principal structure (single family residence that reached today's condition through periodic improvements and additions), two detached accessory structures, and two driveways from Spring Road (situated at the northern corners of the lot). West of the Property, 3710 Spring Road hosts a single-family two-story (above the driveway) residence. Further north of the intersection of Spring Road and Washington Street is land owned by Forest Preserve District of DuPage County which is situated in the CR district and hosts a walking and exercise path connecting Graue Mill (east) and the Fullersburg Woods Environmental Education Center. This path is known as the Night Heron Trail, which extends

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along the southerly line of Wennes Subdivision, including south of York Tavern, before turning north and deeper into Fullersburg Woods Forest Preserve.

The Property is near the northwest corner of an R-3 district extending between Washington Street and York Road and south from Spring Road to Glendale Avenue. The southeast corner of this area is zoned B-3 for a mixed commercial and office use with a bank drive through. Except for some land owned by the Forest Preserve and the Oak Brook Park District and the aforementioned B-3 sector, the properties in the Gateway Area are all developed and occupied for single-family detached residential use. Ground elevations in the R-3 portion of the Gateway Area are relatively consistent until reaching the rear lots at the southerly end of the R-3 district. Elevations of 649-650 prevail along the rights of way, with ground elevations dropping as one moves south and east from the rear of residences. Standard site design calls for the use of swales and other storm water planning in the rear and side yards.

West of Washington Street, there is a large R-2 single family district dominated by single-family use. Opposite the Property is a five-acre tract that hosts a religious institutional use and cemetery. This use offers 14-15 90-degree street parking spaces, 29 off-street angled parking spaces and three additional driveway spaces. The cemetery lies west of the improved area along Spring Road. St. John's is addressed below.

Proposed Construction

Applicant proposes an attractive single-family residence that meets all setbacks: 40 feet (east and west), 12 feet (north), and 23 feet (south, where a side-loaded garage will have a 26.3-foot setback). Corner home elevations will be 651. Swales and site grading (in addition to existing grades and culverts) will convey stormwater as required under DuPage County and local regulations. The west wall of the attached garage is generally in line with the westernmost wall of the home. Ample room exists for the south side-loaded garage planned with spacing that exceeds required setbacks. The air conditioning and a generator will be on the north face of the home. Exterior service connections are screened even though this is not required at the location. The rear yard (east) features an area where the owner may wish to install a patio or deck.

The site development plan and the landscape plan depict a possible future road dedication area (west). The location of the proposed dedication area follows research into the history of Spring Road and Washington Street and discussion among counsel for the Village and Applicant to plan for development that fits the various needs of the Village even though no dedication or easements are required in the process. The dedication should not be taken as bargaining for zoning inasmuch as there is already roadway area on the Property and the adjustment follows planning for the residence. The home is oriented with windows facing west and northwest in an attractive non-linear orientation.

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The home will be parallel to Washington Street and the east property line. The primary driveway access will be at the southwest corner of the Property. The positioning of the home allows for a larger front setback adjacent to Washington Street (61 feet). The side-loaded garage and setback to the driveway allow for more spacing between the proposed home and the home at 3801 Washington Street (south side yard of 26.3 feet). There will be at least 52 feet between the proposed home on the Property and the proposed home to the north.

The home falls below the maximum floor area ratio and the maximum lot coverage. The home will have a maximum height of forty (40) feet and no authorized element will extend more than 30 inches beyond that.

The landscape plan depicts a full screen (summer wine ninebark and wintergreen arborvitae) along the south side-loaded garage driveway. Plantings will directly screen the north mechanical installations (boxwoods) (a request made during prior review). Additionally, the north lot line landscaping (wintergreen arborvitae and blue kazoo double play spirea) is planned to provide a screen between the Property and the corner lot to the north. The street side is reasonably landscaped with three (3) amur maple trees extending along the right-of-way. A Norway maple will be planted in the northeast corner to allow a screen between 3719 Spring Road and Property as well as its north neighbor. Another Norway maple will be planted near the south lot line to allow a screen with the southerly neighbor.

Graue Mill Gateway Area Standards (13-8-7, 13-8-8)

“In May 1975 Graue Mill joined the National Register of Historic Places, and in 1981 the American Society of Mechanical Engineers recognized it as an Illinois Historic Mechanical Engineering Landmark.” <https://www.dupageforest.org/places-to-go/centers/graue-mill-and-museum>. Information provided below has been sourced from the Forest Preserve District of DuPage County, Graue Mill & Museum, DuPage County Historical Museum, the National Register of Historic Places (including the nomination form for Graue Mill), and the Fullersburg Historic Foundation. Personal review of records available at York Township, including meetings with record keepers, also contributed. Some of the information has been culled from reported judicial opinions and other resources available on the internet such as historic preservation websites like <https://www.illinoiswindmills.org/graue-mill>.

The gateway development plan is appropriate to the development of the area. Occasional conflicts arise when trying to regulate according to the times of Graue Mill (then a manufacturing facility on the perimeter of Hinsdale) while imposing expectations for larger yards than required (in an affluent residential area). The undersigned has previously noted the irony of demanding greater setbacks when the setbacks proposed were larger than average to begin with and the people building and living in the area during the mid-nineteenth century certainly did not pursue expansive setbacks due to the nature of the area and the need to have employees near work. The homes on Spring Road between York Road and Washington Street, most demolished by the Forest Preserve, reflected this. Homes along Washington Street

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contain ordinary interior side yard setbacks. This was also true for York Road homes north of the Gateway Area in Wennes Estates and north thereof.

The three historic structures in the area are all non-residential: Graue Mill (1852); St. John's Community Church (1881); and The Farmers Home (1843, now York Tavern continuing bar service that started 180 years ago). None of the residential structures other than, possibly, the west portion of 3719 Spring Road (visual similarities to a former portion of York Tavern), resemble the non-residential features of the former building now occupied by York Tavern. Homes generally did not exist in the area due to its commercial and manufacturing character, flooding, and soil conditions. To blend history and current demand, the Graue Mill Gateway Area regulations should be applied in a fashion that relies on structural elements and building design while avoiding either (a) conversion of an R-3 zoning district to one more like the R-2 district or (b) alteration of zoning regulations. Otherwise, owners will not be motivated to meet objectives in Title 13, Chapter 8.

The standards in Chapter 8 of the Zoning Ordinance are quoted below as they appear in Sections 13-8-7 and 13-8-8. Following each standard, Applicant provides additional support for the conclusion that the gateway development plan should be approved. These should be taken with statements made in support on prior hearing dates and in previous submittals. Applicant notes that much discussion of architecture from the second half of the 19th century occurred previously. This remains in the record, but this supplement is limited to a shallower discussion of existing, older uses because the Village Board was uninterested in the nature of residential architecture that could have been considered in the era of Graue Mill construction.

A. Relationship Of Proposed Buildings Or Structures To Site And Adjoining Area: The site shall be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas, and shall be evaluated pursuant to the following criteria:

1. The provision, where practical, of setbacks in excess of zoning restrictions to provide an interesting relationship between buildings;

Replicating the yard planning and design features of Graue Mill has ironically proven impossible in the Graue Mill Gateway Area, with the only property owners known to have been the subject of Chapter 8's regulations having faced constant, and unnecessary demands to increase setbacks when Frederick Graue did exactly the opposite with respect to the mill that is much closer to York Road (42-43 feet) than portions of the home proposed for the Property will be to Washington Street (over 61 feet). The Graue House was also only ten (10) feet from the paved portion of York Road. St. John's Community Church has stairs extending to the apparent lot line and a building 11-12 feet from the Washington Street lot line. If the Village were to pursue planning for yards and setbacks in the tradition of Frederick Graue and his

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peers who constructed St. John's Community Church, the Village would allow relief from setbacks to allow shorter setbacks while avoiding pressure to open spaces, grade transitions, and natural areas in the instant block near Glendale Avenue. It is not constructive to debate street setbacks. Placement of buildings around a marshy area in the early 1900s and population density since the 1970s (not the 1850s) led to the demand for "interesting building relationships." As has been noted previously before the Plan Commission, there are no "interesting relationships" between any of the residential buildings in the Graue Mill Gateway Area. The Graue House, situated south of the mill, is barely 11 feet off York Road because of Village planning with the County Division of Transportation in the 1990's, when they provided for a rather interesting setback 29 feet less than the R-3 requirement. Prior to the redesign of the intersection of Spring Road with York Road, portions of the Graue House (now removed) were 10 feet from the former York Road pavement.

Still, Applicant provides excess yard area on the west (61-foot front yard), north (12.5-foot side yard), east (41-foot rear yard) and south (26-foot yard). The yard area west of the front steps far exceeds the required 40-foot west yard line.

2. The treatment of parking areas with decorative elements, building wall extensions, plantings, berms or other innovative means so as to screen parking from view;

Applicant provides continuous plantings (summer wine ninebark and wintergreen arborvitae) adjacent to the driveway on the south side of the Property. Amur maple trees offer visual relief in the front and rear yards. Two Norway maples will be visible from neighboring lots to the south and east. The landscape plan provided is intended to specify baseline requirements.

3. The underground installation of newly installed utility services, and service revisions necessitated by exterior alterations.

Utility services will be installed underground.

B. Building Design: Evaluation of the appearance of a project shall be based on the following criteria:

1. The quality of the design and its relationship to the Graue Mill, its site, and the historic period it represents;

Frederick Graue, a German immigrant who settled nearby in the 1840s, built the Graue Mill between 1850 and 1852. The mill was a water-powered gristmill situated along Salt Creek, to provide hydraulic power to grind grain (primarily corn and wheat) for local farmers. It is also an authenticated stop on the Underground Railroad. The mill operated from 1852 until 1929 before being converted to use related to paper manufacturing. In what was then known as

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Hinsdale's planning area, the Forest Preserve acquired the mill and it became one of the earliest examples of historic preservation in DuPage County. when it was partially restored in the 1930's and restored fully in 1951 before opening as a museum in 1952.

Graue Mill's construction is bold and projects a sense of strength. This locally quarried Niagaran dolomite limestone is a significant feature of Graue Mill. The limestone is present on all four levels of the mill—a characteristic in the design of the mixed-use building at 3824 York Road which is a two-story building with limestone exterior on the entirety of the structure. Original mortar was a lime-based combination of burned limestone and sand, but there is no certainty that the same mortar was used in initial 1934 restoration efforts or in 1951 prior to the museum opening.

The base floor level of the mill offers visible structural mass (the walls are roughly 18–24 inches thick. The foundation is pronounced and the building features heavily in views from York Road and Spring Road as well as from Salt Creek where the heavy stone foundation is set into the bank of Salt Creek where it remains engineered to anchor the structure against the hydraulic forces of the millrace and seasonal flooding.

American vernacular architecture in the 1850s commonly planned for functional, rather than decorative buildings. For example, while some can recount tours of the mill where the roof was described as steep and decorative, the gable roof's pitch was designed simply to shed snow and rain. Window elements are decorative, the chimney is decorative, elements above doors and the relationship of the roofs and eaves may be decorative.

St. John's Community Church (directly west of the Property) was constructed with wood and timber materials in 1881, with the tower reportedly added a few years later. Original construction was simple and functional. The tower separates St. John's from other historic or respected structures in the Gateway Area inasmuch as it is not functional but rather adds an element that is a common architectural call to worship or prayer in most faiths—the high point rising above the congregation hall (towers, tall parapets), church (towers, religious symbols), mosque (domes, symbols, and, eventually, minarets), synagogue (rising arches, religious symbols), or temple (the Shikhara and pediment) to welcome people to worship or pray, gather, and study. St. Johns was constructed at a very shallow setback from the curblineline of Washington Street. Like many lots in the area, St. John's owned the right of way and participated in a common law dedication. The Church on the County Line Resubdivision (R1982-050796) dedicated part of Washington Street and depicts a setback to the main entrance of 16 feet and a setback to the residence of 28 feet, both far shorter than setbacks on a majority of lots in the Gateway Area. The apparent depth to the main entrance is 11-12 feet due to existing pavement.

The wood and beam portions of York Tavern (confirmed) and 3719 Spring Road (reported) have been similar for a century. The Farmers Home (1843, now York Tavern) spent most of its existence only 44-45 feet from the improved portion of York Road. York Tavern

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does not have, and never has had, a front yard meeting R-2 district requirements (the current yard from York Road is 20 feet deep). The westerly part of 3719 York Road is a wood frame residence that has long existed 26 feet from the apparent Spring Road right of way before the brick and masonry component was added to the southeast. The older part of the home carries some similarities to wood and beam construction common to the area in the 1800s.

After an extensive effort ending in the early 2000s, 3826 York Road redeveloped with a Certificate of Appropriateness. Its elevations reflect an obvious construction preference for stone compared to wood. The elevations in this case reflect the same consumer preference for stone. Applicant would not construct a wood sided, wood framed house.

2. The compatibility of the design, arrangement, texture, and materials of the proposed buildings or structures with the intent and purpose of the area;

The tower at St. John's was not part of the original construction. Yet, the owners of 3826 York Road and the lot north of the Property have focused substantially on functional, but attractive, steep roofs and multiple varied rooflines. Like 3826 York Road and the lot north of the Property, Applicant proposes an exterior that includes multiple rooflines and a stone appearance on a structure with a strong base floor elevation that is apparent in Graue Mill. The proposed home also features varied types and styles of rooflines.

The chimney is similar to the chimney at the Graue House, Graue Mill, and 3826 York Road, and like the chimney proposed on the lot to the north. Windows on all elevations of the proposed home resemble the tall narrow windows on the Graue Mill windows. Exterior lighting is also similar to the lighting at Graue Mill, including the light centered above the vestibule/main entrance. The garage doors and lighting are consistent with 3719 Spring Road and the improvements proposed on the lot to the north.

The site plan respects the existing right of way. The driveway avoids unnecessary backing onto Washington Street. There are no planned sidewalks which, as noted above, would be incomplete and a first residential sidewalk in the area east of Route 83.

3. The screening and location of mechanical equipment or other utility hardware on roof, ground, or buildings from public view with materials harmonious to the building, so as not to be visible from any public ways;

Applicant screens mechanical equipment with boxwoods even though it would not be visible from any public ways without the plantings. There are no mechanical installations visible from any street.

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4. The unobtrusiveness and harmoniousness of exterior lighting and the compatibility of fixtures, standards, and all exposed accessories with the building design.

Exterior building lighting is like other residential lighting in the area. Lights exist to illuminate ingress and egress and use areas. No unnecessary lighting is proposed.

C. Street Hardware And Signs: See chapter 11 of this title.

No signs are proposed. Address signage will comply with ordinance and the Property will comply with ordinances governing signs, including nameplate and address signs. Applicant seeks no variations and it will comply with Section 13-11-12.

D. Landscaping Design Considerations: Landscape treatment shall be provided to enhance architectural features and provide shade and screening, and shall be evaluated pursuant to the following criteria:

- 1. The compatibility of the design and size of all landscaping effects with the building or structure and adjacent areas;***
- 2. The preservation, protection and development of existing topographic patterns and plant materials which contribute to the beauty and utility of a development;***
- 3. Where building sites limit plantings, the placement of trees in the parkway or paved areas. Parkway trees shall be of a minimum three inch (3") caliper. Buildings of three (3) stories or more shall have parkway and front and/or side yard trees of a minimum of five inch (5") caliper;***
- 4. The method of screening of service yards, and other places which tend to be unsightly, by fencing, plantings, or a combination of these. Screening shall be equally effective in all seasons and may be accomplished by use of any combination of walls, fencing or plantings;***
- 5. The enhancement of parking areas and traffic ways with landscaped spaces containing trees and tree groupings and low shrubs or ground cover;***
- 6. The use of unobstrusive exterior lighting to enhance the landscaping;***
- 7. The use of landscaping materials and lighting which have low demand for annual maintenance.***

Subsection D is not applicable to single-family development. 13-8-12.

E. Landscape Plan: A detailed landscape plan shall show:

May 3, 2026

First Nations (Parcel 2, Sahli Assmt. Plat)

Page 12

- 1. Location of existing plant materials to remain and those to be removed;**
 - 2. Designation of parkway "street trees". Existing parkway trees shall be preserved and protected during construction;**
 - 3. Scientific (genus-species) and common names of proposed landscape material and proposed quantities and sizes of same;**
 - 4. Landscape materials other than plant materials shall be designated in detail.**
- The landscape plan shall be prepared by a landscape architect or qualified nurseryman in accordance with the criteria set forth in subsection D of this section. The plan shall be signed and dated by the designer.***

Subsection E is not applicable to single-family development. 13-8-12.

F. Site Plan: A detailed site plan shall show:

- 1. Exact location of the building(s) or structure(s) on the site;**
- 2. Exact location of drives, walks, parking areas, parking layout, freestanding or retaining walls, fences, and drainage accommodations;**
- 3. Elevations showing all sides of the proposed structure. Elevations should indicate the type of materials to be used on the structure as well as their proportions;**
- 4. Existing grades or topographic details to be retained and proposed grading;**
- 5. Location of utilities**

The topographic site development plan depicts all required information. Applicant provides a landscape plan even though not required so that the Village understands the planned minimum landscaping. Elevations have been provided. The stone exterior finish comprises a portion of the exterior finish. The division between stone finish and other materials is reflected in the same form as proposed previously (notations remain in the plan sheets submitted with the supplemental application). Existing and planned grades appear in the topographic site development plan. All utilities will be installed underground. The overhead wire locations are faded in order to show existing locations.

In addition to the information required pursuant to subsection 13-8-7F of this chapter, the following requirements must be met prior to the issuance of a certificate of appropriateness:

May 3, 2026

First Nations (Parcel 2, Sahli Assmt. Plat)

Page 13

A. Visual Environment: In order to ensure an adequate and pleasant natural environment, a sum of money equal to not less than five percent (5%) of the total project construction cost, as set forth on the approved building permits, shall be budgeted and used by the owners and developers to purchase and install mature sized trees, shrubbery, grass and other suitable landscaping upon the grounds, which budgeted amount shall be expended to comply with the provisions of subsections 13-8-7D and E of this chapter. The president and board of trustees may vary from or waive the requirement for such expenditure where such expenditure would cause a hardship on the applicant. Hardship, for purposes of this chapter shall include, but not be limited to, the following situations:

- 1. Irregular shaped lots where landscaping is not practical;***
- 2. Lots with minimal frontage;***
- 3. Development does not cause any visual impact; e.g., development to the rear of a lot or building; and***
- 4. Those instances where there is an abundance of existing natural vegetation precluding the necessity for further landscaping treatment.***

Subsection A is not applicable to single-family development. 13-8-12.

B. Public Utilities: All utility lines, including, but not limited to, telephone and electric, in the right of way adjacent to and in the development property shall be placed underground. Underground utility lines shall be placed within easements or dedicated public ways in a manner which will not conflict with other underground services. All transformer boxes and service posts shall be located so as not to be unsightly or hazardous. (Ord. G-272, 11-11-1980)

Applicant will locate utility services underground. Applicant will locate utility lines underground. Overhead wires shown in the plans indicate current locations along Washington Street and Spring Road. If the Village has a program in place to assist Applicant in this effort, coordination and a contribution of public funds towards this effort could lead owners of 3719 Spring Road, 3710 Spring Road, and St. John's Community Church to place current overhead main and service lines underground. Such an expense would be in the public interest and benefit the Gateway Area. Other than service lines to St. John's and to 371 Spring Road, no overhead lines exist on the west side of Washington Street. The Forest Preserve lots are in some flux, but there is no reason Oak Brook and the Forest Preserve cannot locate lines underground. The effort to place main utility lines underground would end south of the Property.

Hon. Laurence Herman, Village President
Hon. Rajaraman Iyer, Plan Commission Chairman

May 3, 2026

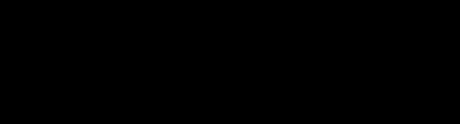
First Nations (Parcel 2, Sahli Assmt. Plat)

Page 14

Thank you for your attention to this matter and the matter of the Certificate of Appropriateness for the corner lot to the north which is tracking with this request for the time being.

Yours very truly,

DANIEL LAW OFFICE (P.C.)



Mark W. Daniel

Encls.

MAKE CHECK PAYABLE TO: DU PAGE COLLECTOR - SEND THIS COUPON WITH YOUR 1ST INSTALLMENT PAYMENT OF 2024 Tax

MAIL PAYMENT TO: P.O. BOX 4203, CAROL STREAM, IL 60197-4203
 PAY ON-LINE AT: www.dupagecounty.gov/treasurer
 SEE REVERSE SIDE FOR ADDITIONAL INFORMATION



06-36-308-033
 SAHLI, MARIA
 3715 SPRING RD
 OAK BROOK IL 60523

1

ON OR BEFORE: JUN 02, 2025	PAY: 0.00
PAYING LATE? JUN 3 THRU 30 JUL 1 THRU 31 AUG 1 THRU 31 SEP 1 THRU 30 OCT 1 THRU 31 NOV 1 THRU 19	PAY THIS AMOUNT: 0.00

U.S. POSTMARK IS USED TO DETERMINE LATE PENALTY.

PAYMENT OF THIS 2024 TAX BILL AFTER OCTOBER 31, 2025, REQUIRES A CASHIER'S CHECK, CASH OR MONEY ORDER.

CHECK BOX AND COMPLETE CHANGE OF ADDRESS ON BACK.

NO PAYMENT WILL BE ACCEPTED AFTER NOV 19, 2025

\$2,587.14 PAID June 03, 2025

1063630803316109000025489151

MAKE CHECK PAYABLE TO: DU PAGE COLLECTOR - SEND THIS COUPON WITH YOUR 2ND INSTALLMENT PAYMENT OF 2024 Tax

MAIL PAYMENT TO: P.O. BOX 4203, CAROL STREAM, IL 60197-4203
 PAY ON-LINE AT: www.dupagecounty.gov/treasurer
 SEE REVERSE SIDE FOR ADDITIONAL INFORMATION



06-36-308-033
 SAHLI, MARIA
 3715 SPRING RD
 OAK BROOK IL 60523

2

ON OR BEFORE: SEP 02, 2025	PAY: 0.00
PAYING LATE? SEP 3 THRU 30 OCT 1 THRU 31 * NOV 1 THRU 19	PAY THIS AMOUNT: 0.00

*INCLUDES \$10 COST: SEE BACK OF BILL FOR EXPLANATION

U.S. POSTMARK IS USED TO DETERMINE LATE PENALTY.

PAYMENT OF THIS 2024 TAX BILL AFTER OCTOBER 31, 2025, REQUIRES A CASHIER'S CHECK, CASH OR MONEY ORDER.

CHECK BOX AND COMPLETE CHANGE OF ADDRESS ON BACK.

NO PAYMENT WILL BE ACCEPTED AFTER NOV 19, 2025

\$2,548.91 PAID September 02, 2025

2063630803316109000025489152

Rate 2023	Tax 2023	Taxing District	Rate 2024	Tax 2024
		** COUNTY **		
0.0899	85.56	COUNTY OF DU PAGE	0.0832	85.64
0.0180	17.14	PENSION FUND	0.0165	16.98
0.0291	27.70	HEALTH DEPARTMENT	0.0250	25.74
0.0103	9.80	PENSION FUND	0.0114	11.74
0.1001	95.28	FOREST PRESERVE DIST	0.1213	124.88
0.0075	7.14	PENSION FUND	0.0097	9.98
0.0132	12.58	DU PAGE AIRPORT AUTH	0.0122	12.56
		** LOCAL **		
NO LEVY	0.00	DU PAGE WATER COMM	NO LEVY	0.00
0.0426	40.54	YORK TOWNSHIP	0.0425	43.74
0.0047	4.48	PENSION FUND	0.0020	2.06
0.0449	42.74	YORK TWP ROAD	0.0443	45.62
0.0014	1.34	PENSION FUND	0.0008	0.82
NO LEVY	0.00	VLG OF OAK BROOK	NO LEVY	0.00
0.3085	293.66	OAK BROOK PARK DIST	0.2842	292.56
0.0180	17.14	PENSION FUND	0.0219	22.54
NO LEVY	0.00	FLAGG CRK WATER REC	NO LEVY	0.00
		** EDUCATION **		
2.5107	2,389.94	GRADE SCHL DIST 181	2.4215	2,492.64
0.0448	42.64	PENSION FUND	0.0434	44.68
1.6596	1,579.78	HIGH SCHOOL DIST 86	1.5964	1,643.30
0.0439	41.78	PENSION FUND	0.0366	37.68
0.1907	181.52	COLLEGE DU PAGE 502	0.1794	184.66
		** TIF **		

Mailed to:
 SAHLI, MARIA
 3715 SPRING RD
 OAK BROOK IL 60523

Property Location:
 3715 SPRING RD
 OAK BROOK IL 60523

Township Assessor:
 YORK
 630-627-3354

Tax Code:
 6109

Property Index Number:
 06-36-308-033

TIF Frozen Value	
Fair Cash Value	308,800
Land Value	102,938
+ Building Value	
= Assessed Value	102,938 *
x State Multiplier	1.0000
- Equalized Value	102,938
- Residential Exemption	
- Senior Exemption	
- Senior Freeze	
- Disabled Veteran	
- Disability Exemption	
- Returning Veteran Exemption	
- Home Improvement Exemption	
- House Abatement	
= Net Taxable Value	102,938
x Tax Rate	4.9523
= Total Tax Due	5,097.82
- Less Advance Payment	
- Commercial Abatement	
+ PACE Reimbursement	
= Net Due as of 04/29/26	0.00

CHANGE OF NAME/ADDRESS:
 CALL: 630-407-5900
 * S OF A FACTOR 1.0786
 1st INST PAID June 03, 2025
 2nd INST PAID September 02, 2025



2024 DuPage County Real Estate Tax Bill
 Gwen Henry, CPA, County Collector
 421 N. County Farm Road
 Wheaton, IL 60187

Office Hours - 8:00 am - 4:30 pm, Mon - Fri
 Telephone = (630) 407-5900

5.1379	4,890.76	TOTALS	4.9523	5,097.82
2023	95,190	Assessed Value	2024	102,938

Certification Surrounding Property Owners

I (we) certify that the names and addresses of all the surrounding property owners including mailing labels submitted with this application are located within a minimum distance of 250 feet in all directions from the perimeter of the subject property and that the number of feet occupied by all public roads, streets, alleys, and public ways has been excluded in computing the 250-foot requirement.

Said names and addresses are as recorded in the office of the County Recorder of Deeds (or the Registrar of Titles of the County) and as appear from the authentic tax records of this County. The property owners as listed have been obtained from within 30 days of the filing of this application.

The surrounding property owners list as submitted herewith and supporting attachments are true to the best of my (our) knowledge and belief.

I (we) give permission to the Village to install public hearing sign(s) on the lot frontages of the subject property as described in the Village Code. In addition to the required application fees, applicant/owner agrees to reimburse the Village for publication costs, recording fees, and any other associated costs or fees within 30 days of billing.

<p>MARIA SAHLI</p> <hr/> <p style="text-align: center;">Printed Name of Owner</p> <div style="background-color: black; width: 100%; height: 20px; margin-bottom: 5px;"></div> <p style="text-align: center;">, ATTORNEY</p> <hr/> <p style="text-align: center;">Signature of Owner</p>	<p>MARIA SAHLI</p> <hr/> <p style="text-align: center;">Printed Name of Applicant</p> <div style="background-color: black; width: 100%; height: 20px; margin-bottom: 5px;"></div> <p style="text-align: center;">, ATTORNEY</p> <hr/> <p style="text-align: center;">Signature of Applicant</p>
<p>05/03/2026</p> <hr/> <p style="text-align: center;">Date</p>	<p>05/03/2026</p> <hr/> <p style="text-align: center;">Date</p>

BILL TO INFORMATION:

MARIA SAHLI C/O SDLL CORP.
 Print Name/Company
 17W300 22ND STREET
 OAKBROOK TERRACE, ILLINOIS 60181

Address To be Billed

MICHAEL SAHLI
 Contact Person
 (630) 205-2600
 Contact Phone
 EMAIL: MSAHLI66@GMAIL.COM

Alternate Phone

NOTE: If the applicant/owner has not complied with these requirements and notification has not been sent to a neighboring property owner within the 250-foot requirement less than 10 days prior to the scheduled hearing, the hearing on this matter will be postponed to the next regular meeting, or until such time as all neighbors within the 250-foot requirement have been sent proper notification.

SUBJECT PROPERTY VERIFICATION

(Complete a separate form for each P.I.N.)

1. Permanent Index Number (P.I.N. from Real Estate Tax Bill): 06-36-308-~~032X~~ 033
2. Common Address: SEC SPRING & WASHINGTON (ADDRESS UNASSIGNED)
3. Provide the Legal Description for each lot as noted on the Plat of Survey as an attachment.
4. Provide the proposed Legal Description for each lot as an attachment.
5. Email the Current and Proposed Legal Description in a Word document to cchiarelli@oak-brook.org

PLEASE NOTE SEPARATELY UPLOADED WORD AND PDF FILES

The Permanent Index Number, Common Address and Legal information provided has been verified as follows:

DuPage County Records/Research Room At: 630-407-5401 Contact Person:

ANDREW.JANIK2@DUPAGECOUNTY.GOV

ANDREW JANIK

Only First name of Contact is required.

Date called:

MARCH 26, 2026

I verify that the information provided above is accurate.

SUZANNE COLLINS-SCHRODE

Printed Name

Signature

Date

APRIL 29, 2026

Relationship to Applicant:

PARALEGAL FOR APPLICANT'S ATTORNEY

LEGAL DESCRIPTION

Permanent Index No. 06-36-308-033:

PARCEL 2 IN SAHLI'S ASSESSMENT PLAT, PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED ON JULY 21, 2020 AS DOCUMENT NO. R2020-077385 IN THE OFFICE OF THE RECORDER OF DEEDS, DUPAGE COUNTY, ILLINOIS.

which is also described as follows:

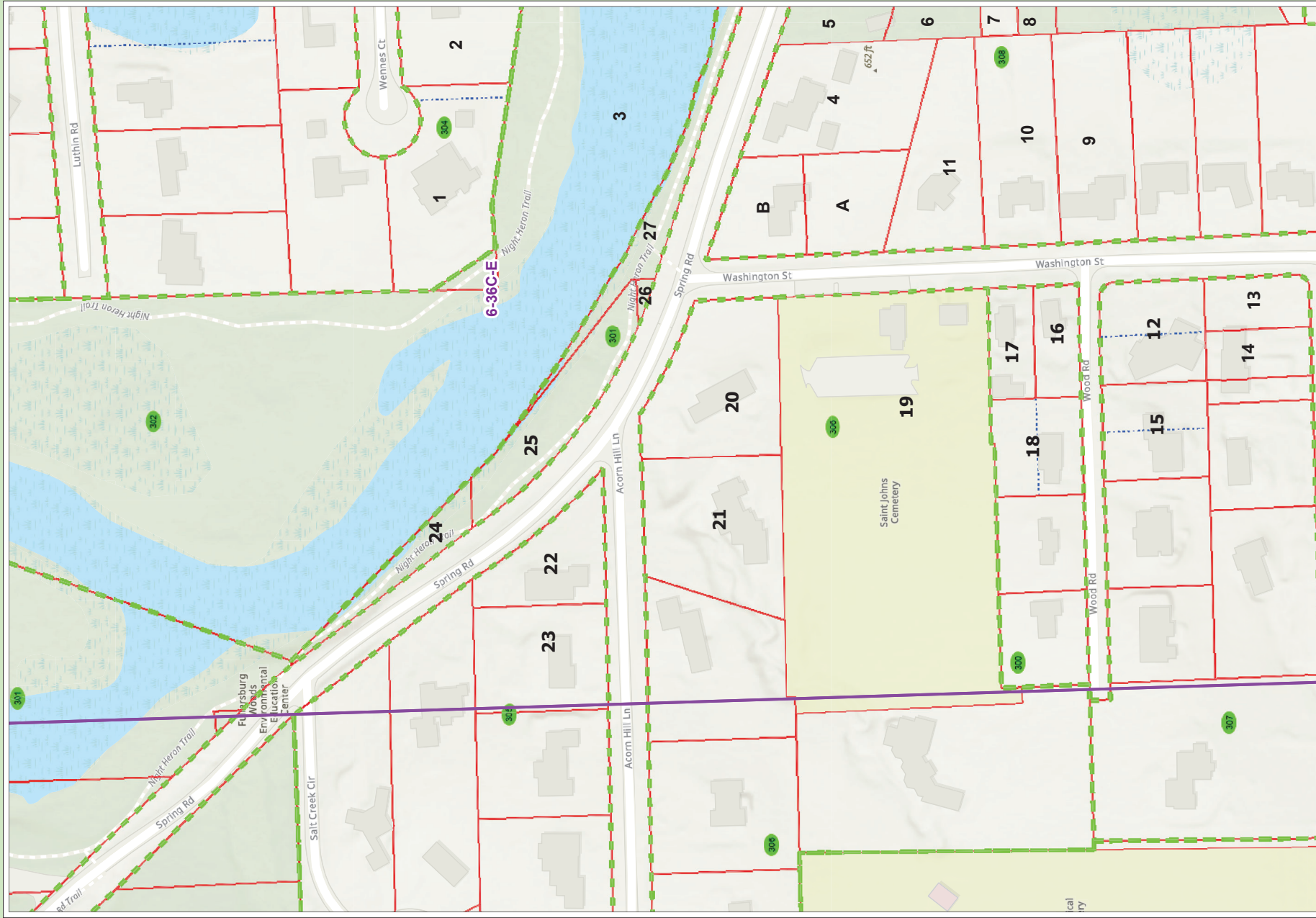
PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A MEASURED DISTANCE OF 721.71 FEET (721 FEET RECORD) FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 110.45 FEET; THENCE NORTH 87 DEGREES 59 MINUTES 25 SECONDS EAST A DISTANCE OF 180.93 FEET; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 167.53 FEET; THENCE NORTHWEST AND PARALLEL TO THE CENTERLINE OF SPRING ROAD, A DISTANCE OF 189.75 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

#	PIN	Parcel Address	Owner/Tax Address	Deed Address
A	06-36-308-033	3715 SPRING ROAD OAK BROOK, IL	MARIA SAHLI 3715 SPRING ROAD OAK BROOK, IL 60523	
B	06-36-308-032	SPRING ROAD OAK BROOK, IL	SDLL CORP 17W300 22 ND ST, #220 OAKBROOK TERRACE, IL 60181	FIRST NATIONS BK TRUST 1824
1	06-36-304-012	523 WENNES COURT OAK BROOK, IL	TREVOR & MARY ANNE CLARK TRUST 523 WENNES COURT OAK BROOK, IL 60523	TREVOR J CLARK TRUST AND MARY ANN CLARK TRUST, BOTH DATED 4/22/09 523 WENNES COURT OAK BROOK, IL 60523
2	06-36-304-013	511 WENNES COURT OAK BROOK, IL	ALI & LADAN NILI 511 WENNES COURT OAK BROOK, IL 60523	ALI & LADAN NILI 511 WENNES COURT OAK BROOK, IL 60523
3	06-36-302-001	SPRING ROAD OAK BROOK, IL	FOREST PRESERVE DISTRICT PO BOX 5000 WHEATON, IL 60189	No Deed
4	06-36-308-025	3719 SPRING ROAD OAK BROOK, IL	FRANK & N SCARPINITI 3719 SPRING ROAD OAK BROOK, IL 60523	FRANK SCARPINITI AND NETASHA SCARPINITI 3719 SPRING ROAD OAK BROOK, IL 60523
5	06-36-308-017	3721 SPRING ROAD OAK BROOK, IL	FOREST PRESERVE DISTRICT PO BOX 5000 WHEATON, IL 60189	FOREST PRESERVE DISTRICT OF DUPAGE COUNTY PO BOX 5000 WHEATON, IL 60189
6	06-36-308-018	3721 SPRING ROAD OAK BROOK, IL	FOREST PRESERVE DISTRICT PO BOX 5000 WHEATON, IL 60189	FOREST PRESERVE DISTRICT OF DUPAGE COUNTY PO BOX 5000 WHEATON, IL 60189
7	06-36-308-007	3806 SPRING ROAD OAK BROOK, IL	OAK BROOK PARK DISTRICT 1450 FOREST GATE ROAD OAK BROOK, IL 60523	OAK BROOK PARK DISTRICT 1450 FOREST GATE ROAD OAK BROOK, IL 60523
8	06-36-308-015	3810 SPRING ROAD OAK BROOK, IL	FOREST PRESERVE DU PAGE PO BOX 5000 WHEATON, IL 60189	FOREST PRESERVE DISTRICT OF DUPAGE COUNTY PO BOX 5000 WHEATON, IL 60189
9	06-36-308-024	3811 WASHINGTON ST OAK BROOK, IL	HERON & E RODRIGUEZ 3811 WASHINGTON ST	RODRIGUEZ FAMILY TRUST, DTD 4/16/2007

#	PIN	Parcel Address	Owner/Tax Address	Deed Address
			OAK BROOK, IL 60523	ATTN: HERON E RODRIGUEZ 3811 N WASHINGTON OAK BROOK, IL 60523
10	06-36-308-023	3807 WASHINGTON ST OAK BROOK, IL	JOHN J HARRAST 3807 WASHINGTON ST OAK BROOK, IL 60523	JOHN J HARRAST & GRACE C HARRAST 3807 WASHINGTON ST OAK BROOK, IL 60523
11	06-36-308-022	3801 WASHINGTON ST OAK BROOK, IL	PATRICK G ROONEY 3801 WASHINGTON ST OAK BROOK, IL 60523	3801 WASHINGTON TRUST PATRICK G ROONEY AND JULIA A RZEPPA, TRUSTEES 3801 WASHINGTON ST OAK BROOK, IL 60523
12	06-36-307-006	3814 WASHINGTON ST OAK BROOK, IL	LENNETTE & S ROBERTS 3814 WASHINGTON ST OAK BROOK, IL 60523-2750	LENNETTE A EVANS ROBERTS AND STANLEY R ROBERTS 3814 WASHINGTON ST OAK BROOK, IL 60523-2750
13	06-36-307-014	25 GLENDALE AVE. OAK BROOK, IL	DANIEL J & SANDRA CZUBA 25 GLENDALE AVE OAK BROOK, IL 60523-2861	DANIEL J CZUBA TRUST & SANDRA L CZUBA TRUST, BOTH DATED 5/2/2018 25 GLENDALE AVE OAK BROOK, IL 60523-2861
14	06-36-307-013	25 GLENDALE AVE. OAK BROOK, IL	DANIEL J & SANDRA CZUBA 25 GLENDALE AVE OAK BROOK, IL 60523-2861	DANIEL J CZUBA TRUST & SANDRA L CZUBA TRUST, BOTH DATED 5/2/2018 25 GLENDALE AVE OAK BROOK, IL 60523-2861
15	06-36-307-022	509 WOOD RD. OAK BROOK, IL	L BERKSON & VIRZI S 509 WOOD RD. OAK BROOK, IL 60523	LYLE BERKSON AND SUSAN VIRZI 509 WOOD RD. OAK BROOK, IL 60523
16	06-36-300-088	506 WOOD RD. OAK BROOK, IL	M KASPER & A NOSKOWIAK 506 WOOD RD. OAK BROOK, IL 60523-2723	MATTHEW KASPER & AMY NOSKOWIAK 506 WOOD RD. OAK BROOK, IL 60523-2723
17	06-36-300-063	3804 N WASHINGTON ST. OAK BROOK, IL	DAVID H FICHTER 3804 N WASHINGTON ST. OAK BROOK, IL 60523	DAVID H FICHTER TRUST DTD 4/18/1988 3804 N WASHINGTON ST. OAK BROOK, IL 60523
18	06-36-300-068	512 WOOD AVE. OAK BROOK, IL	MING JIANG & ET AL. 512 WOOD AVE. OAK BROOK, IL 60523	MING JIANG, YANNIE Q FAN AND ZHIPENG WAN AND JING BAI 512 WOOD AVE. OAK BROOK, IL 60523
19	06-36-306-008	3724 WASHINGTON ST.	ST. JOHN COMM CEMETARY	ST. JOHN COMMUNITY CEMETERY, NFP

#	PIN	Parcel Address	Owner/Tax Address	Deed Address
		OAK BROOK, IL	3724 WASHINGTON ST. OAK BROOK, IL 60523	WILLIAM R OWEN, Reg. Agent 7714 S GRANT ST BURR RIDGE ,IL 60527-5945
20	06-36-306-004	3710 SPRING RD. OAK BROOK, IL	JAMES M & KAREN F BOROS 3710 SPRING RD. OAK BROOK, IL 60523	JAMES M BOROS AND KAREN F BOROS 3710 SPRING RD. OAK BROOK, IL 60523
21	06-36-306-006	515 ACORN HILL LN. OAK BROOK, IL	GEORGE & CONNIE MOLITOR 515 ACORN HILL LN OAK BROOK, IL 60523	GEORGE E MOLITOR AND CONNIE J MOLITOR 515 ACORN HILL LN OAK BROOK, IL 60523
22	06-36-305-006	622 ACORN HILL LN. OAK BROOK, IL	WILLIAM R CANTRALL, II 622 ACORN HILL LN. OAK BROOK, IL 60523-2705	WILLIAM R CANTRALL II TRUST DTD 2/10/2021 622 ACORN HILL LN. OAK BROOK, IL 60523-2705
23	06-36-305-005	700 ACORN HILL RD. OAK BROOK, IL	BARBARA & CHARLES COLLINS TRUST 700 ACORN HILL RD. OAK BROOK, IL 60523	BARBARA L COLLINS REV TRUST AND CHARLES P COLLINS REV TRUST, BOTH DTD 11/28/23 700 ACORN HILL RD. OAK BROOK, IL 60523
24	06-36-301-007	SPRING ROAD OAK BROOK, IL	FOREST PRESERVE DISTRICT PO BOX 5000 WHEATON, IL 60189	FOREST PRESERVE DISTRICT OF DUPAGE COUNTY PO BOX 5000 WHEATON, IL 60189
25	06-36-301-008	SPRING ROAD OAK BROOK, IL	FOREST PRESERVE DISTRICT PO BOX 5000 WHEATON, IL 60189	FOREST PRESERVE DISTRICT OF DUPAGE COUNTY PO BOX 5000 WHEATON, IL 60189
26	06-36-301-009	SPRING ROAD OAK BROOK, IL	FOREST PRESERVE DISTRICT PO BOX 5000 WHEATON, IL 60189	FOREST PRESERVE DISTRICT OF DUPAGE COUNTY PO BOX 5000 WHEATON, IL 60189
27	06-36-301-010	SPRING ROAD OAK BROOK, IL	FOREST PRESERVE DISTRICT PO BOX 5000 WHEATON, IL 60189	FOREST PRESERVE DISTRICT OF DUPAGE COUNTY PO BOX 5000 WHEATON, IL 60189



Regional County Boundaries

- COOK
- KANE
- KENDALL
- LAKE
- MCHEERY
- WILL
- DUPAGE

DuPage County

- Townships
- Sectors
- Quarter Sections
- Half Quarter Sections

Subdivision Lot Lines

- Subdivision Lot Lines
- Cadastral Realstate
- Parcel Blocks

0 0.02 0.04 0.07 0.11 0.14 mi

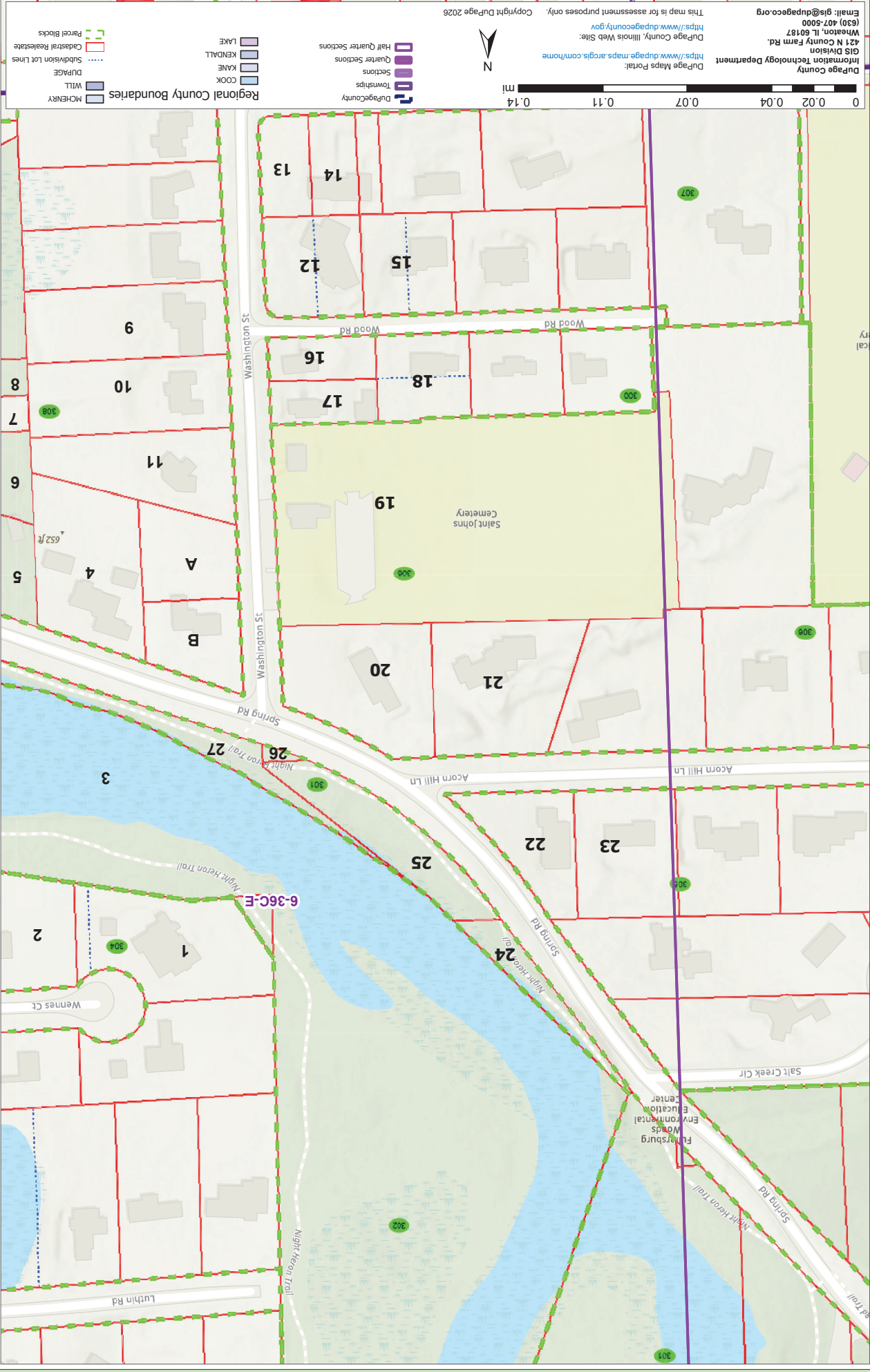
N

DuPage County
Information Technology Department
GIS Division
400 W. Division, Farm Rd.
Wheaton, IL 60187
(630) 407-5000
Email: gis@dupageco.org

DuPage Maps Portal:
<https://www.dupage.maps.arcgis.com/home>

DuPage County, Illinois Web Site:
<https://www.dupagecounty.gov>

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DuPage County
 Information Technology Department
 GIS Division
 421 N County Farm Rd.
 Wheaton, IL 60187
 (630) 407-5000
 Email: gis@dpageco.org

DuPage Maps Portal:
<https://www.dpage.maps.arcgis.com/home>
 DuPage County, Illinois Web Site:
<https://www.dpagecounty.gov>

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MARIA SAHLI
3715 SPRING ROAD
OAK BROOK, IL 60523

SDLL CORP
17W300 22ND ST, #220
OAKBROOK TERRACE, IL 60181

TREVOR & MARY ANNE CLARK
TRUST
523 WENNES COURT
OAK BROOK, IL 60523

ALI & LADAN NILI
511 WENNES COURT
OAK BROOK, IL 60523

FOREST PRESERVE DISTRICT
PO BOX 5000
WHEATON, IL 60189

FRANK SCARPINITI AND
NETASHA SCARPINITI
3719 SPRING ROAD
OAK BROOK, IL 60523

OAK BROOK PARK DISTRICT
1450 FOREST GATE ROAD
OAK BROOK, IL 60523

RODRIGUEZ FAMILY TRUST, DTD
4/16/2007
ATTN: HERON E RODRIGUEZ
3811 N WASHINGTON
OAK BROOK, IL 60523

JOHN J HARRAST & GRACE C
HARRAST
3807 WASHINGTON ST
OAK BROOK, IL 60523

3801 WASHINGTON TRUST
PATRICK G ROONEY AND JULIA A
RZEPPA, TRUSTEES
3801 WASHINGTON ST
OAK BROOK, IL 60523

LENNETTE & S ROBERTS
3814 WASHINGTON ST
OAK BROOK, IL 60523-2750

DANIEL J CZUBA TRUST &
SANDRA L CZUBA TRUST, BOTH
DATED 5/2/2018
25 GLENDALE AVE
OAK BROOK, IL 60523-2861

LYLE BERKSON AND SUSAN
VIRZI
509 WOOD RD.
OAK BROOK, IL 60523

MATTHEW KASPER & AMY
NOSKOWIAK
506 WOOD RD.
OAK BROOK, IL 60523-2723

DAVID H FICHTER TRUST DTD
4/18/1988
3804 N WASHINGTON ST.
OAK BROOK, IL 60523

MING JIANG, YANNIE Q FAN AND
ZHIPENG WAN AND JING BAI
512 WOOD AVE.
OAK BROOK, IL 60523

ST. JOHN COMM CEMETARY
3724 WASHINGTON ST.
OAK BROOK, IL 60523

ST. JOHN COMMUNITY
CEMETERY, NFP
WILLIAM R OWEN, Reg. Agent
7714 S GRANT ST
BURR RIDGE ,IL 60527-5945

JAMES M & KAREN F BOROS
3710 SPRING RD.
OAK BROOK, IL 60523

GEORGE & CONNIE MOLITOR
515 ACORN HILL LN
OAK BROOK, IL 60523

WILLIAM R CANTRALL II TRUST
DTD 2/10/2021
622 ACORN HILL LN.
OAK BROOK, IL 60523-2705

BARBARA L COLLINS REV TRUST
AND CHARLES P COLLINS REV
TRUST, BOTH DTD 11/28/23
700 ACORN HILL RD.
OAK BROOK, IL 60523



3 0 2 7 1 7 0 9
7440163281

FRED BUCHOLZ, RECORDER
DUPAGE COUNTY ILLINOIS
07/21/2020 10:08 AM
RHSP

DOCUMENT # R2020-077385

Mail To:

(Mark Daniel, Daniel Law Office, P.C.)

17W733 Butterfield Road

Suite F

Oakbrook Terrace, IL 60181

COPY

RECORDING COVER PAGE

Permanent Parcel Number:

06-36-308-030, 06-36-308-031

Property Address:

3715 Spring Road (Parcel 1 and Parcel 2)

Oak Brook, Illinois 60523

Prepared By: Timothy B Martinek (No. 35-003872), 3s701 West Avenue, Suite 150, Warrenville, IL 60555

Name

Address

City, State & Zip Code

*Please note – This cover page has been attached to the document for recording purpose.
It is a permanent part of the document and has been included in the page count.

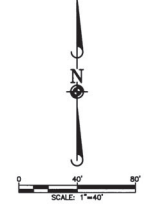
PRIOR P.L.N.: 06-36-308-001
CURRENT P.L.N.: 06-36-308-030 (PARCEL 1)
06-36-308-031 (PARCEL 2)

82020-077385
FRED BUCHALA, RECORDER
07/21/2020 10:08 AM

SAHLI'S ASSESSMENT PLAT

LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36, THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A DISTANCE OF 721 FEET FOR A PLACE OF BEGINNING, THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 200 FEET TO THE CENTERLINE OF A PUBLIC ROAD KNOWN AS SPRING ROAD, THENCE SOUTH 73 DEGREES EAST ALONG THE CENTER LINE OF SAID SPRING ROAD A DISTANCE OF 189.1 FEET, THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 300 FEET, THENCE NORTH AND PARALLEL TO THE CENTERLINE OF SPRING ROAD, A DISTANCE OF APPROXIMATELY 189.1 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.



PARCEL 1 OWNER'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS
I, **John Estabrook**, as **Asst. Trust Officer** of FIRST NATIONAL BANK, AN ILLINOIS BANKING ASSOCIATION DULY ORGANIZED AND EXISTING UNDER THE ILLINOIS STATE BANKING LAWS, AS TRUSTEE UNDER THE PROVISIONS OF A DEED OR DEEDS IN TRUST, DULY RECORDED OR REFERRED AND DELIVERED TO SAID BANK IN FURNISHANCE OF A TRUST AGREEMENT DATED THE 28TH DAY OF JUNE, 2014, AND KNOWN AS TRUST NUMBER 1824, DO HEREBY CERTIFY THAT THE TRUSTEE IS THE OWNER OF PARCEL 1 (P.L.N. 06-36-308-001) SHOWN AND DESCRIBED HEREON AND THE TRUSTEE CAUSED THE SAID PROPERTY TO BE SUBDIVIDED AS SHOWN HEREON PURSUANT TO DEED RECORDED AS DOCUMENT NUMBER R0200-097381, RECORDED SEPTEMBER 18, 2017 IN THE OFFICE OF THE DUPAGE COUNTY RECORDER (EXCEPT FROM PLAT ACT 785 ILS CS 205/100) AND AS REFLECTED IN THIS PLAT PREPARED IN ACCORDANCE WITH 785 ILS CS 205/1 (CS).
DATED THIS 14th DAY OF July, A.D. 2020
John Estabrook A.T.O.
1757 W. DEAN AVE. CHgo IL 60643
(ADDRESS)

PARCEL 1 NOTARY CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS
I, **Sal Alamo**, a Notary Public in and for the RESIDING IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT **John Estabrook** IS THE **Notary Public** WHOSE NAME IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SH/HE/SH/HE/SH/HE/SH DELIVERED THE SAME INSTRUMENT AS HIS/HER OWN FREE AND VOLUNTARY ACT, AS OWNER OF THE PROPERTY, FOR THE USES AND PURPOSES THEREIN SET FORTH.
GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS 14th DAY OF July, A.D. 2020
Sal Alamo
NOTARY PUBLIC

PARCEL 2 OWNER'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS
I, **MARIA SHAHLI**, DO HEREBY CERTIFY THAT I AM THE OWNER OF PARCEL 2 (P.L.N. 06-36-308-031) SHOWN AND DESCRIBED HEREON AND I HAVE CAUSED THE SAID PROPERTY TO BE SUBDIVIDED AS SHOWN HEREON PURSUANT TO DEED RECORDED AS DOCUMENT NUMBER R0200-097381, RECORDED SEPTEMBER 18, 2017 IN THE OFFICE OF THE DUPAGE COUNTY RECORDER (EXCEPT FROM PLAT ACT 785 ILS CS 205/100) AND AS REFLECTED IN THIS PLAT PREPARED IN ACCORDANCE WITH 785 ILS CS 205/1 (CS).
DATED THIS 14th DAY OF July, A.D. 2020
Maria Shahl
(ADDRESS)

PARCEL 2 NOTARY CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS
I, **MARIA SHAHLI**, a Notary Public in and for the RESIDING IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT **MARIA SHAHLI** IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT SHE/HE/SH/HE/SH/HE/SH DELIVERED THE SAME INSTRUMENT AS HER OWN FREE AND VOLUNTARY ACT, AS OWNER OF THE PROPERTY, FOR THE USES AND PURPOSES THEREIN SET FORTH.
GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS 14th DAY OF July, A.D. 2020
Maria Shahl
NOTARY PUBLIC

COUNTY CLERK'S CERTIFICATE

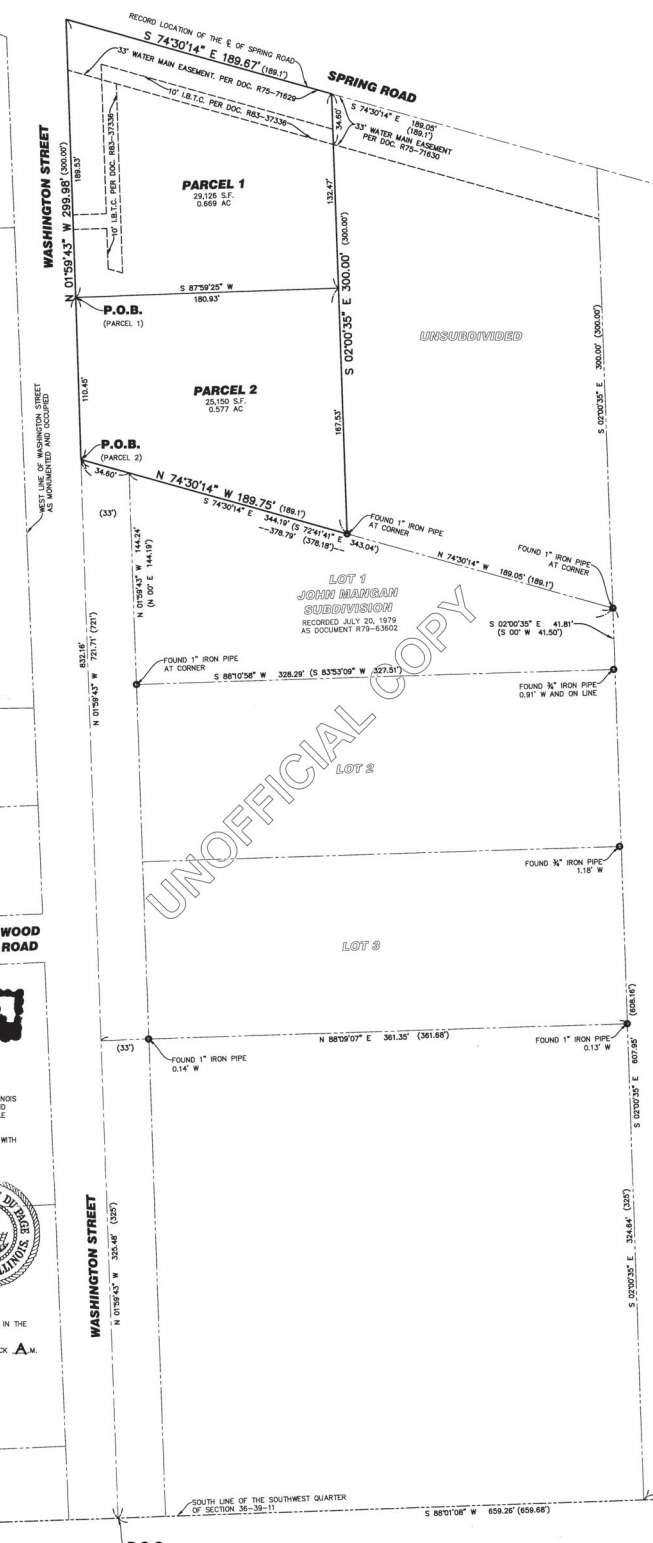
STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS
I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES AND NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE HERON DRAIN PLAT.
I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE HERON DRAIN PLAT.
GIVEN UNDER MY HAND AND SEAL AT THE OFFICE OF THE CLERK OF DUPAGE COUNTY, ILLINOIS, AT WHEATON, ILLINOIS, THIS 21st DAY OF July, A.D. 2020
Jan Kogornarek
COUNTY CLERK

COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS
THIS INSTRUMENT NUMBER **R0200-077385** WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE 21st DAY OF July, A.D. 2020, AT 10:08 O'CLOCK A.M.
Fred Buchala
COUNTY RECORDER

GENERAL NOTES

- THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON THE ILLINOIS STATE PLANE COORDINATE SYSTEM - EAST ZONE (NAD 83).
- CHECK LEGAL DESCRIPTION WITH DEED OR TITLE POLICY AND REPORT ANY DISCREPANCY IMMEDIATELY. BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE AS SHOWN ON THE RECORDED SUBDIVISION OR AS INDICATED.
- ALL AREAS LISTED IN THE AREA SUMMARY TABLE ARE MORE OR LESS.
- ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OVERHEAD CABLES OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- THIS PLAT OF SURVEY IS FOR TAX ASSESSMENT PURPOSES. BUILDINGS AND IMPROVEMENTS ON THE SUBJECT PROPERTY ARE NOT SHOWN HEREON.



AREA SUMMARY

PARCEL 1: 29,126 SQUARE FEET (0.669 AC)
PARCEL 2: 25,150 SQUARE FEET (0.577 AC)
TOTAL: 54,276 SQUARE FEET (1.246 AC)

LEGEND

PROPERTY LINE	---
LOT LINE	---
CENTERLINE	---
EASEMENT LINE	---
SETBACK LINE	---
(XXX)XX	DEED RECORDED INFORMATION
XXX.XX	MEASURED INFORMATION

ABBREVIATIONS

A	ARC DISTANCE
CH	CHORD
CONC.	CONCRETE
E	EAST
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
I.B.T.C.	ILLINOIS BELL TELEPHONE COMPANY
N	NORTH
P.O.B.	PLACE OF BEGINNING
P.O.C.	POINT OF COMMENCING
R	RADIUS
R.O.W.	RIGHT OF WAY
S	SOUTH
W	WEST

PARCEL 1 LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36, THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A MEASURED DISTANCE OF 721.71 FEET (721 FEET RECORDED), THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 110.45 FEET FOR A PLACE OF BEGINNING, THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 189.1 FEET TO THE CENTERLINE OF A PUBLIC ROAD KNOWN AS SPRING ROAD, THENCE SOUTH 74 DEGREES 30 MINUTES EAST ALONG THE CENTER LINE OF SAID SPRING ROAD A DISTANCE OF 189.1 FEET, THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 132.47 FEET, THENCE SOUTH 87 DEGREES 59 MINUTES 29 SECONDS EAST A DISTANCE OF 189.3 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2 LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36, THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A MEASURED DISTANCE OF 721.71 FEET (721 FEET RECORDED) FOR A PLACE OF BEGINNING, THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 110.45 FEET FOR A PLACE OF BEGINNING, THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 189.1 FEET TO THE CENTERLINE OF SPRING ROAD, A DISTANCE OF APPROXIMATELY 189.1 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

UNOFFICIAL COPY



STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS

I, **TIMOTHY B. MARTINEK**, AN ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-002782, HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE PROPERTY AND THAT THE PLAT HERON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
GIVEN UNDER MY HAND AND SEAL, THIS 16TH DAY OF JULY, 2020
Timothy B. Martinek
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-002782
LICENSE EXPIRES NOVEMBER 30, 2020
DESIGN FIRM PROFESSIONAL LICENSE NO. 184.001186
STATE OF ILLINOIS
FIELD WORK COMPLETED FEBRUARY 8, 2017



DRAWN BY: CNB
CHECKED BY: TIM
APPROVED BY: TIM

ENGINEERING RESOURCE ASSOCIATES
36701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60556
PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7844
FAX (312) 474-6099

2416 GALE DRIVE
CHAMPAGNE, ILLINOIS 61821
PHONE (217) 353-0248
FAX (217) 355-1902

PREPARED FOR:
SEI BUILDERS, INC.
17N300 22ND STREET, SUITE 200
OAKBROOK TERRACE, IL 60181

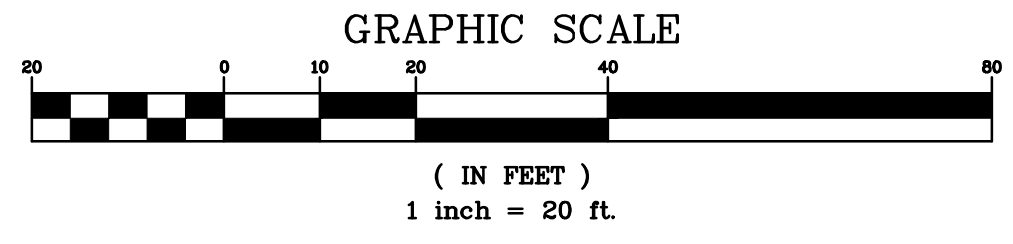
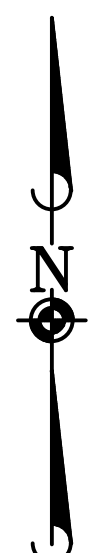
TITLE: **SAHLI'S ASSESSMENT PLAT**
3715 SPRING ROAD
OAKBROOK, ILLINOIS
SCALE: 1" = 20'
DATE: 07-16-20
JOB NO.: 161107
SHEET 1 of 1

SITE PLAN EXHIBIT

LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

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AREA SUMMARY

PARCEL 1: 26,543 SQUARE FEET (0.609 AC±)
PARCEL 2: 25,021 SQUARE FEET (0.574 AC±)
TOTAL: 51,564 SQUARE FEET (1.184 AC±)

LEGEND

PROPERTY LINE	---	
LOT LINE	----	
CENTERLINE	-----	
EASEMENT LINE	- - - - -	
SETBACK LINE	
(XXX.XX)		DEED/RECORD INFORMATION
XXX.XX		MEASURED INFORMATION

ABBREVIATIONS

A	ARC DISTANCE
CH	CHORD
CONC.	CONCRETE
E	EAST
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
I.B.T.C.	ILLINOIS BELL TELEPHONE COMPANY
N	NORTH
P.O.B.	PLACE OF BEGINNING
P.O.C.	POINT OF COMMENCING
R	RADIUS
R.O.W.	RIGHT OF WAY
S	SOUTH
W	WEST

PARCEL 1 LEGAL DESCRIPTION

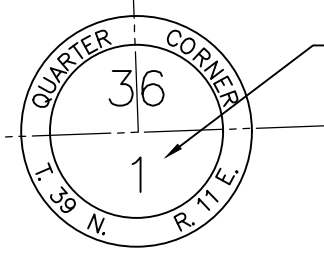
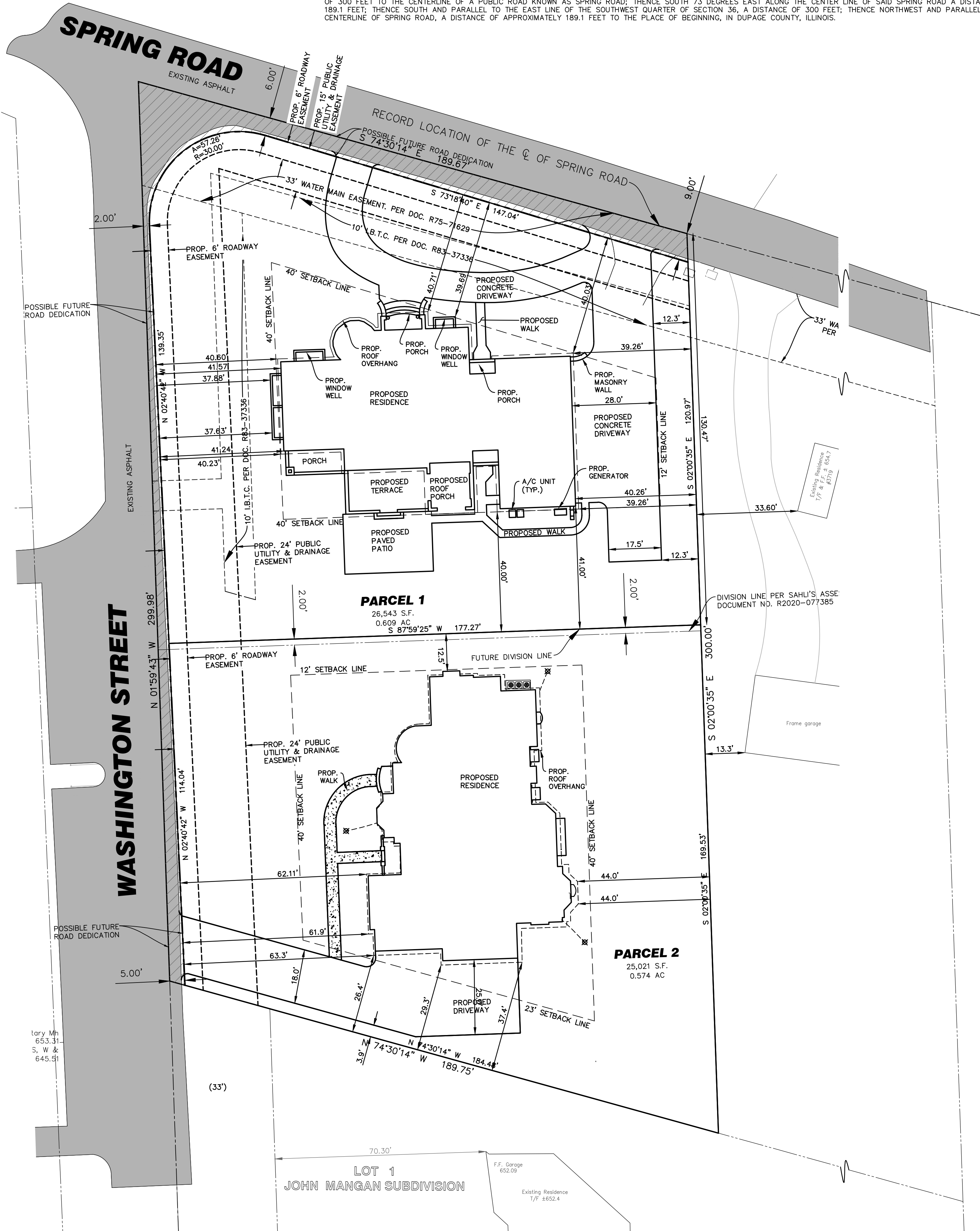
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PARCEL 2 LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

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G:\PROJETS\SEI\Builders\161107\001_3715SpringRoadOakbrook\CAD\161107 Lot 1 and Lot 2 Exhibit 2026-04-29.dwg Updated by: bleprch 4/29/2026

EXISTING CONDITIONS AND DEMO PLAN

PARCEL 1 LEGAL DESCRIPTION

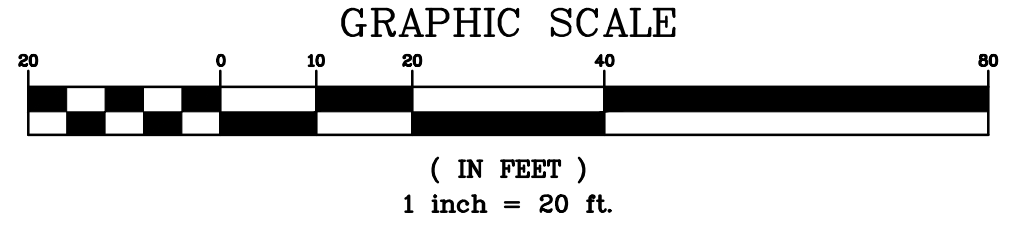
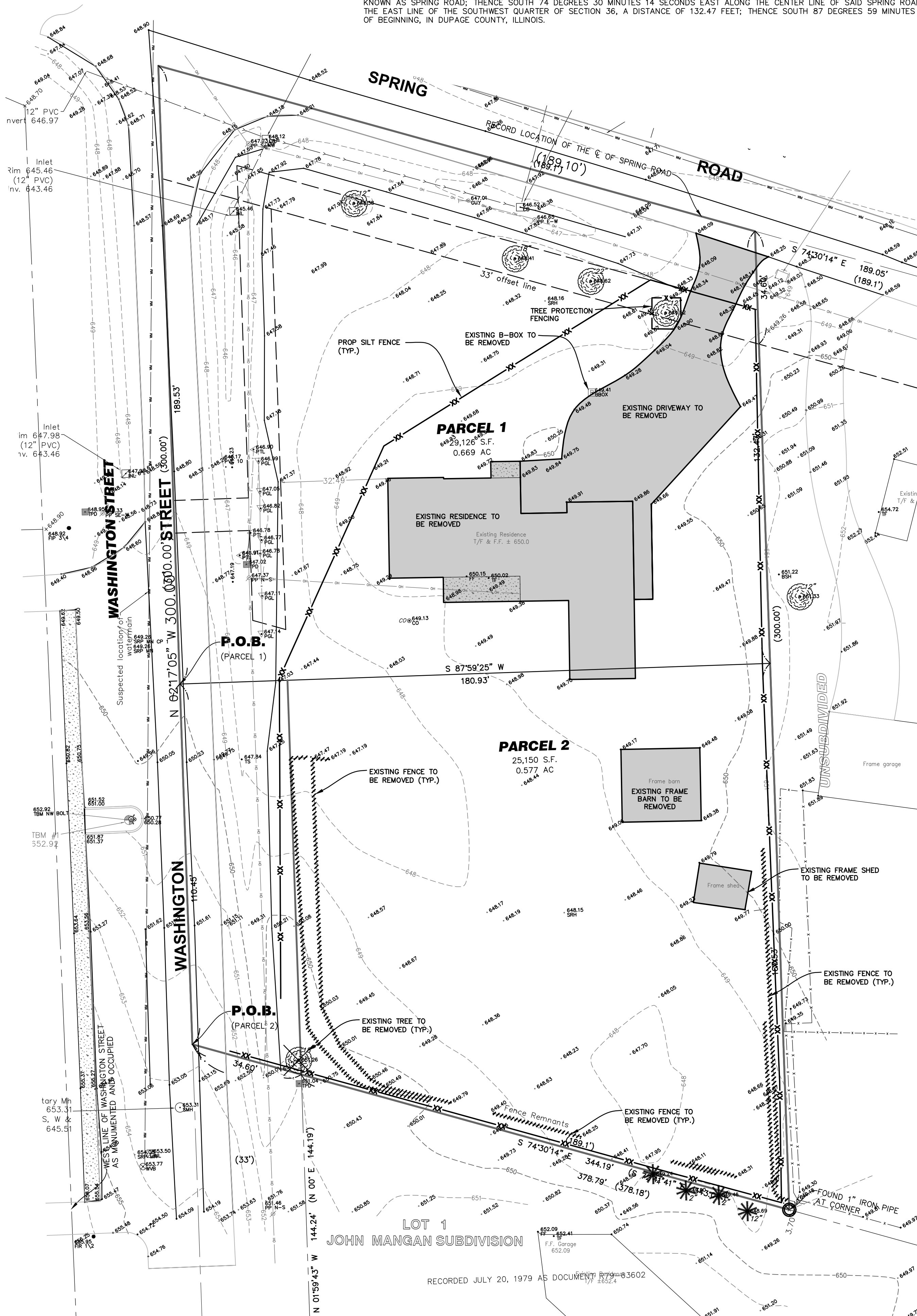
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PARCEL 2 LEGAL DESCRIPTION

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DEMOLITION LEGEND:	
	REMOVAL BUILDINGS & DRIVEWAY
	REMOVAL FENCE
	REMOVAL TREE

NOTES:

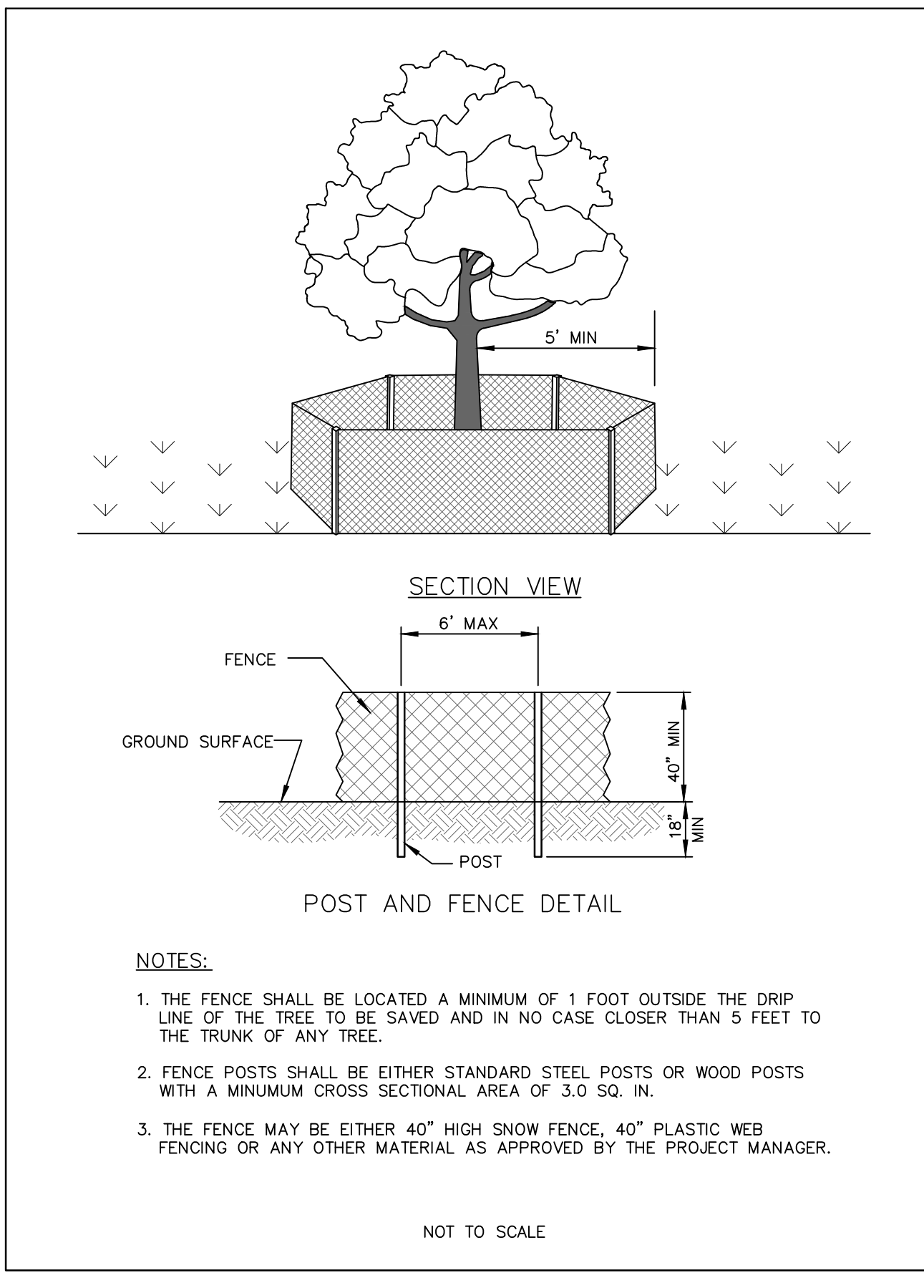
- DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE VILLAGE CODE OF OAK BROOK RELATED TO STANDARDS FOR DEMOLITION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT THE TIME OF BACKFILL, SWALES SHALL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1.0" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS
- SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FILED VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING
- CONSTRUCTION SCHEDULE:
 - 16.1. SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - SUMMER 2018
 - 16.2. RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES. - FALL 2018
 - 16.3. LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING - SPRING 2019
- CONTACT PERSON FOR SITE: MIKE SAHLI 630.310.8668
- T/F OF EXISTING RESIDENCE AT 3715 SPRING RD, OAK BROOK = 651.66
- PARKING DATE: MAXIMUM CONTRACTOR VEHICLES: 6. PARKING SHALL BE ON THE EAST SIDE OF WASHINGTON STREET.
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE WEST OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF.)
- CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH INDIVIDUAL UTILITY COMPANIES.
- PUMPING SEDIMENT-LADEN WATER INTO ANY STORM SEWER FACILITY NOT DESIGNED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- IF THE SOIL STOCKPILE IS TO REMAIN IN PLACE FOR GREATER THAN THREE DAYS, THEN SOIL & SEDIMENT CONTROL MEASURES WILL BE PROVIDED.
- SOIL STOCKPILES SHALL NOT BE LEFT OVERNIGHT IN DITCHES OR WITHIN FLOODPLAINS.
- LAND DISTURBANCE ACTIVITIES IN STREAMS AND DITCHES SHALL BE AVOIDED WHERE POSSIBLE.
- ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- ANY DEVIATION FROM THIS APPROVED PLAN SHALL REQUIRE PRIOR WRITTEN APPROVAL FROM THE VILLAGE OF OAK BROOK.

EXISTING GRADE	+XXX.XX
EXISTING CONTOUR	-XXX.XX
PROPOSED GRADE	+XXX.XX
PROPOSED CONTOUR	-XXX.XX
PROPOSED FLOW	XXX
TREE PRESERVATION	X
FENCE	XX-XX
SILT FENCE & CONSTRUCTION SAFETY FENCE	XX-XX

IMPERVIOUS DATA TABLE

EXISTING IMPERVIOUS (TO BE REMOVED)	
RESIDENCE & PATIO:	2,937 S.F.
FRAME BARN:	540 S.F.
FRAME SHED:	194 S.F.
DRIVEWAY:	2,680 S.F.
TOTAL:	-6,351 S.F.

KEY:
T/F = TOP OF FOUNDATION
P.T.F. = PROPOSED TOP OF FOUNDATION



NOTES:

- THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
- FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
- THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER.

NOT TO SCALE

NICHOLAS A. VARCHETTO, P.E.
IL. P.E. NO. 062-068622
Expires November 30, 2019

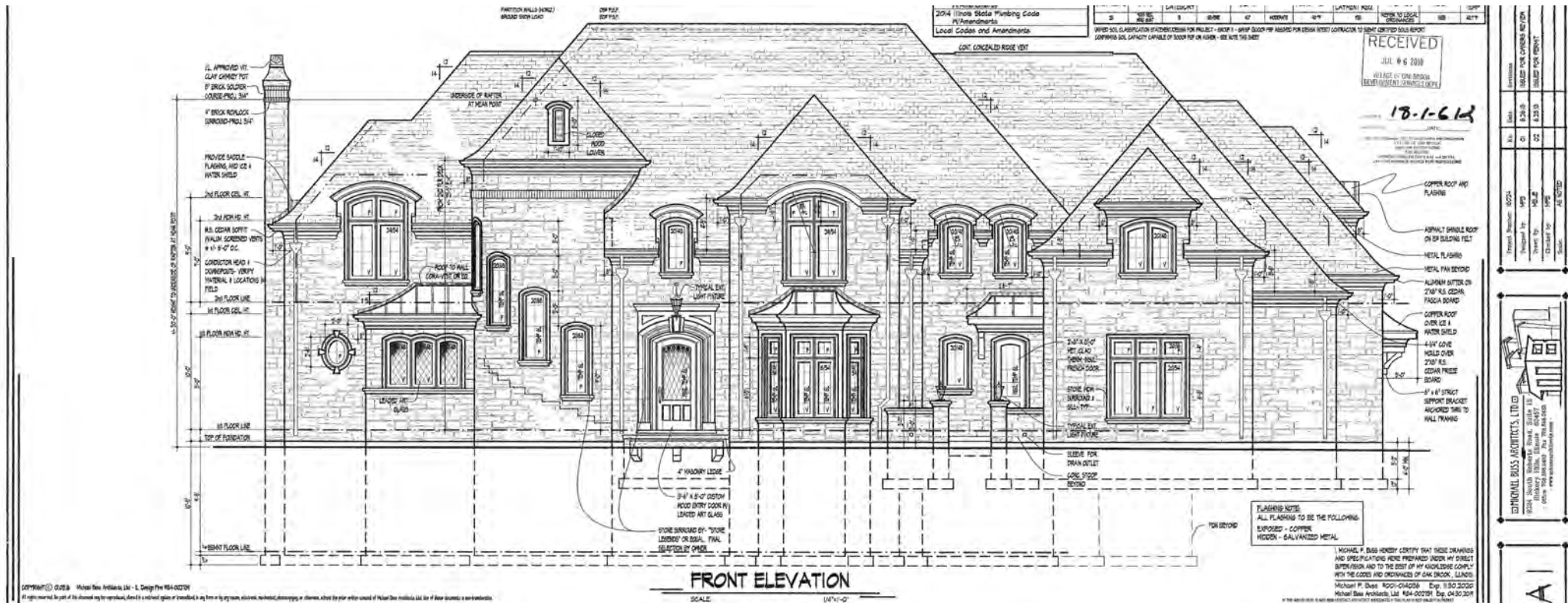
It's smart It's free It's the law

Call before you dig
800.892.0123

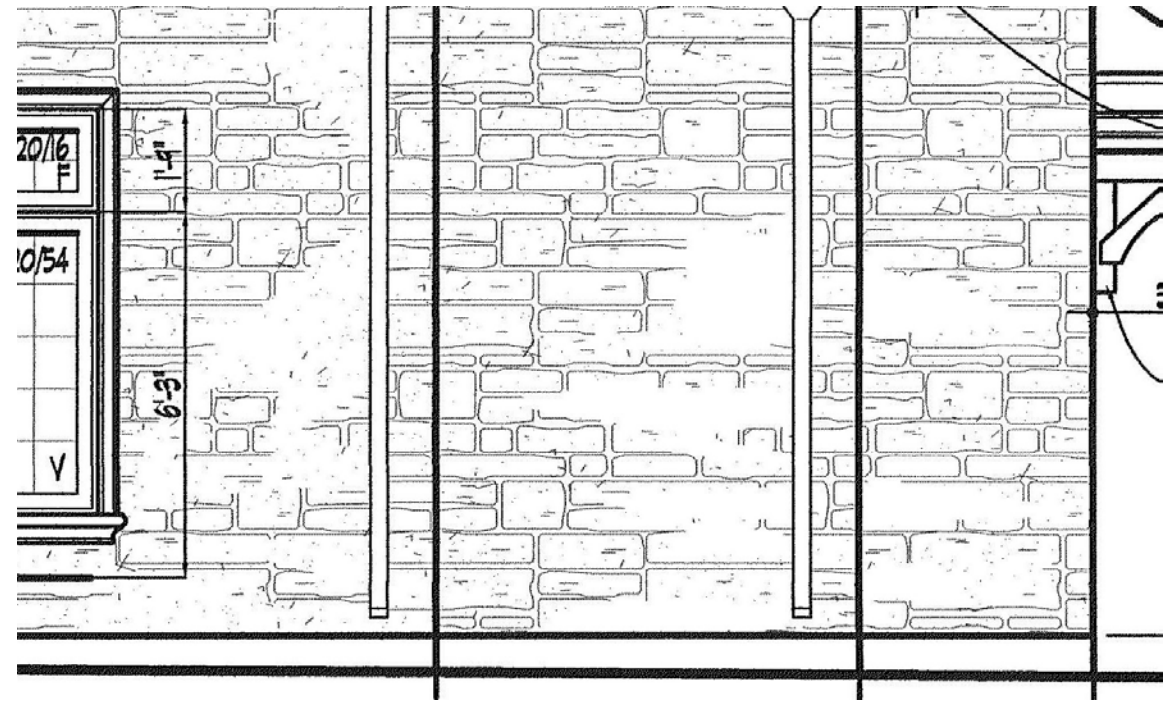
JULIE
ILLINOIS ONE-CALL SYSTEM

SAHLI APPEARANCE REVIEW

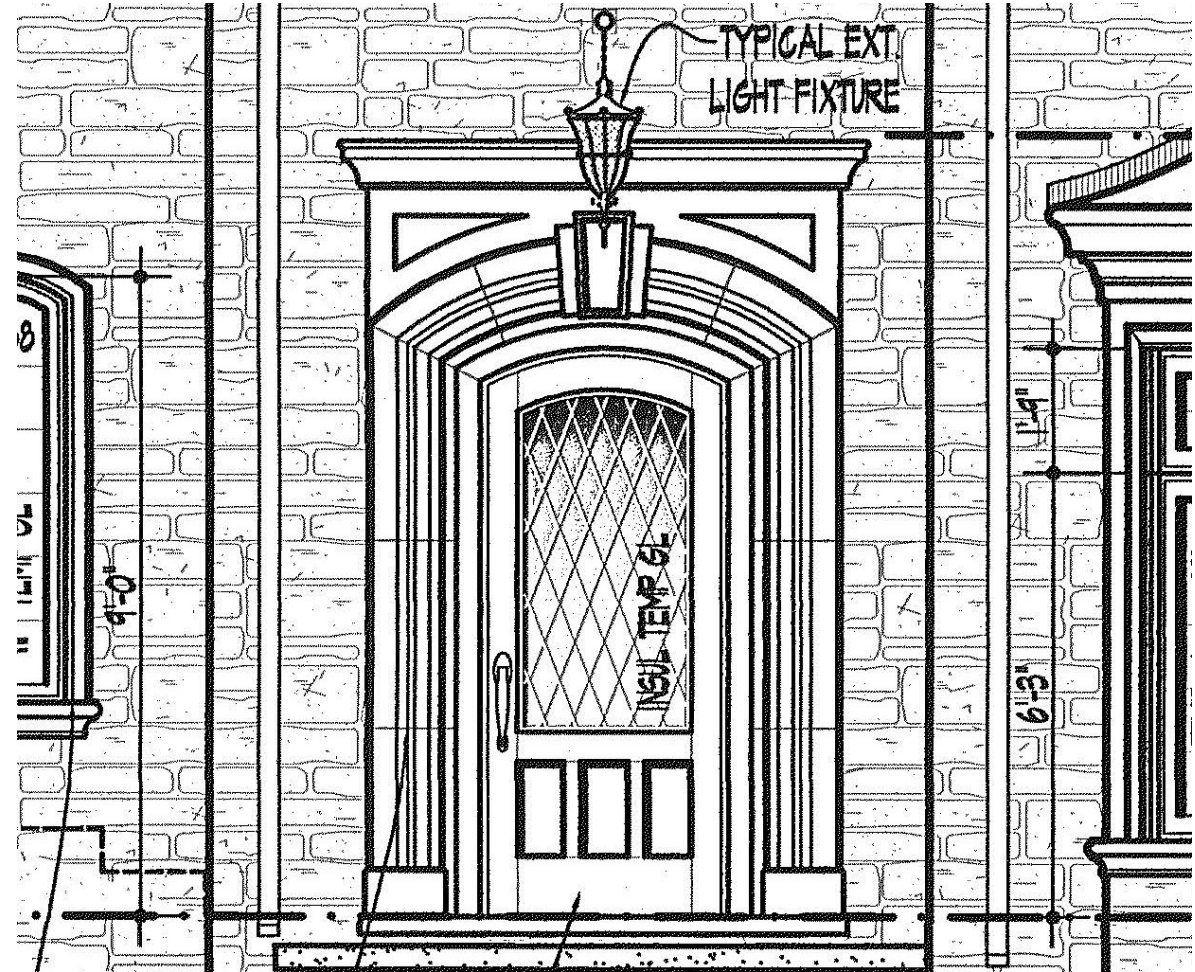
LOT 2, SAHLI ASSESSMENT PLAT



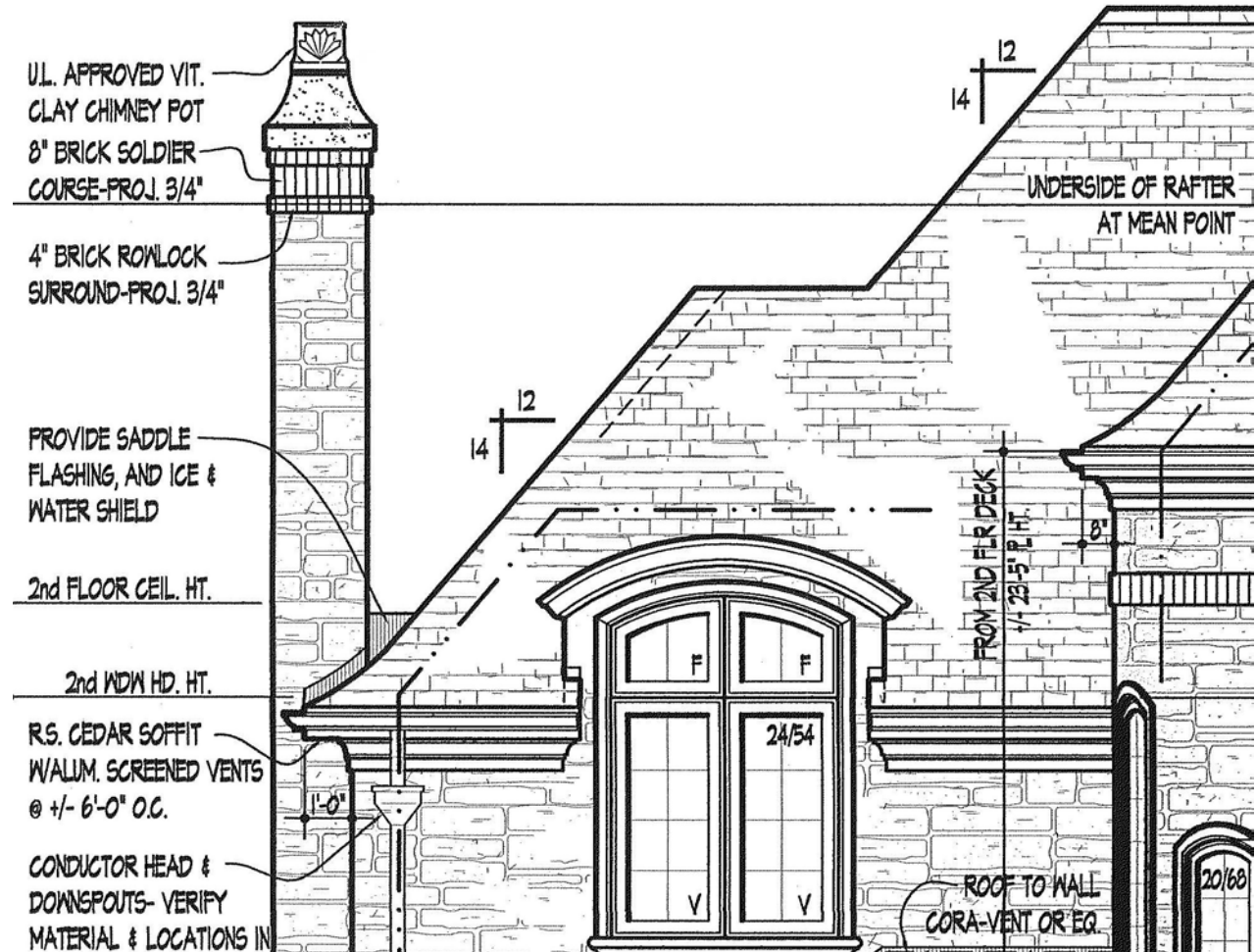
STONE FACADES



RECESSED SINGLE DOOR WIDTH CENTERED BETWEEN WINDOWS, LANTERN FIXTURE ABOVE ENTRY



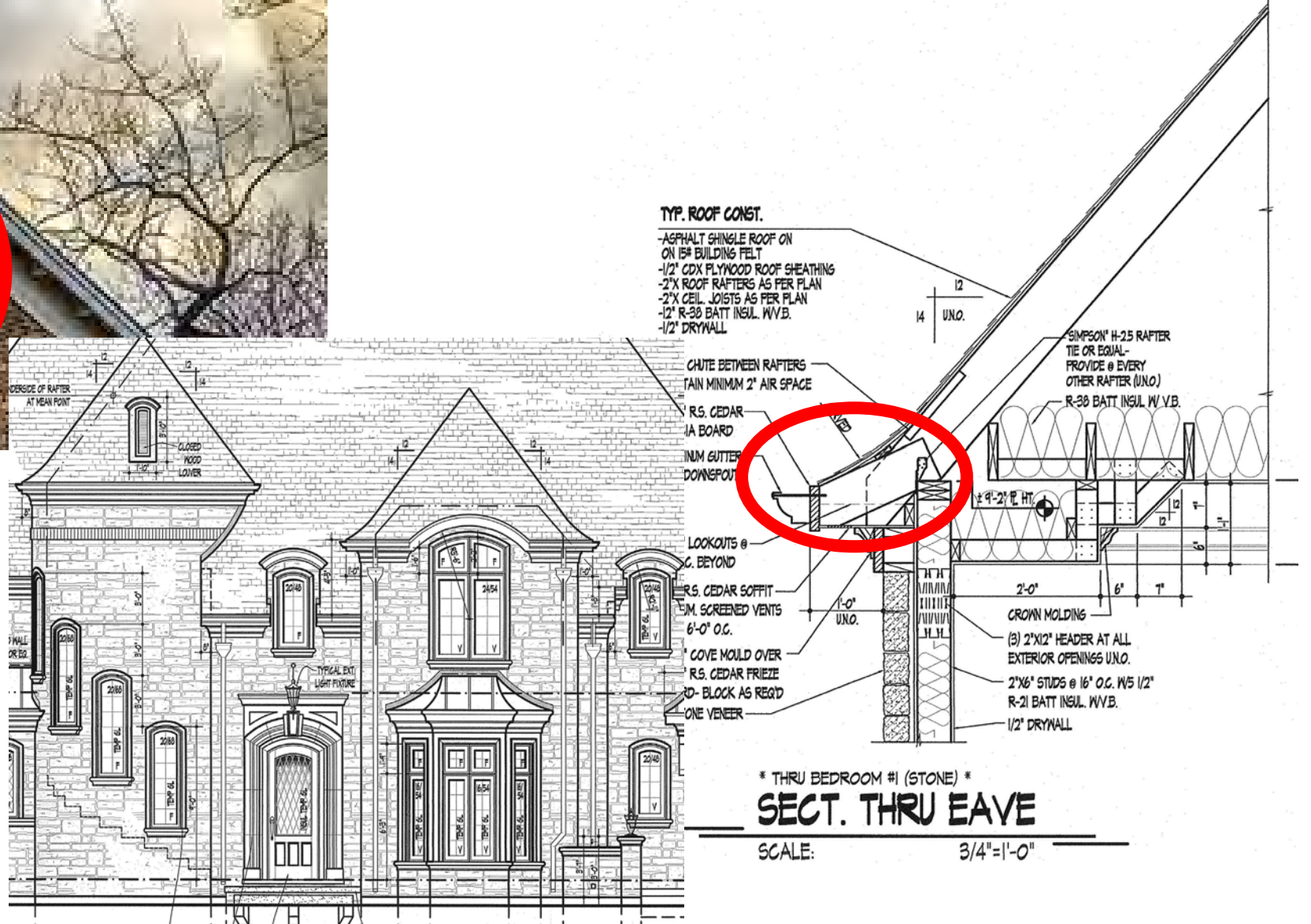
CHIMNEY HEIGHT AND WIDTH



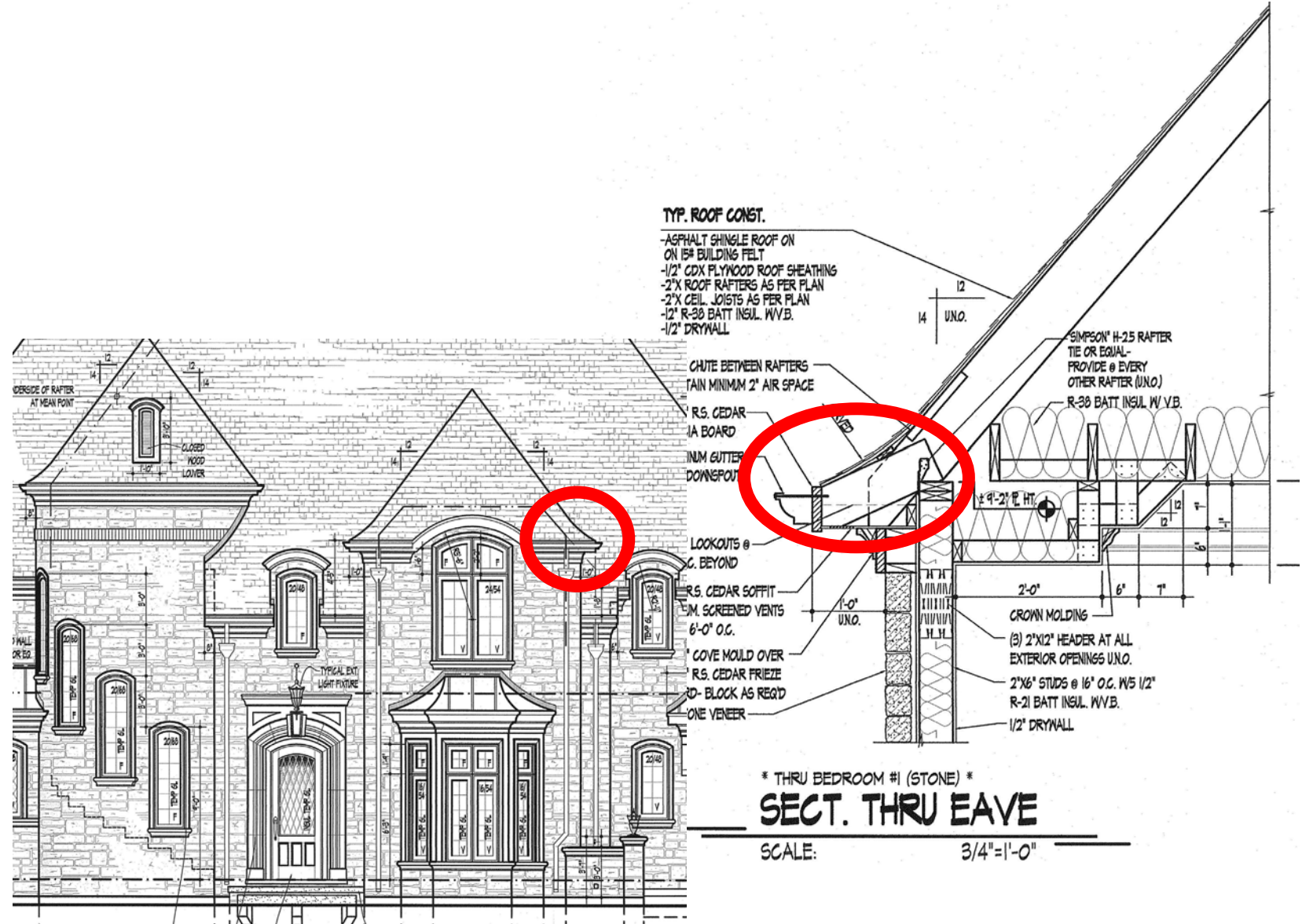
WINDOW HEIGHT RELATIVE TO WIDTH



ROOF, GUTTERS, FASCIA



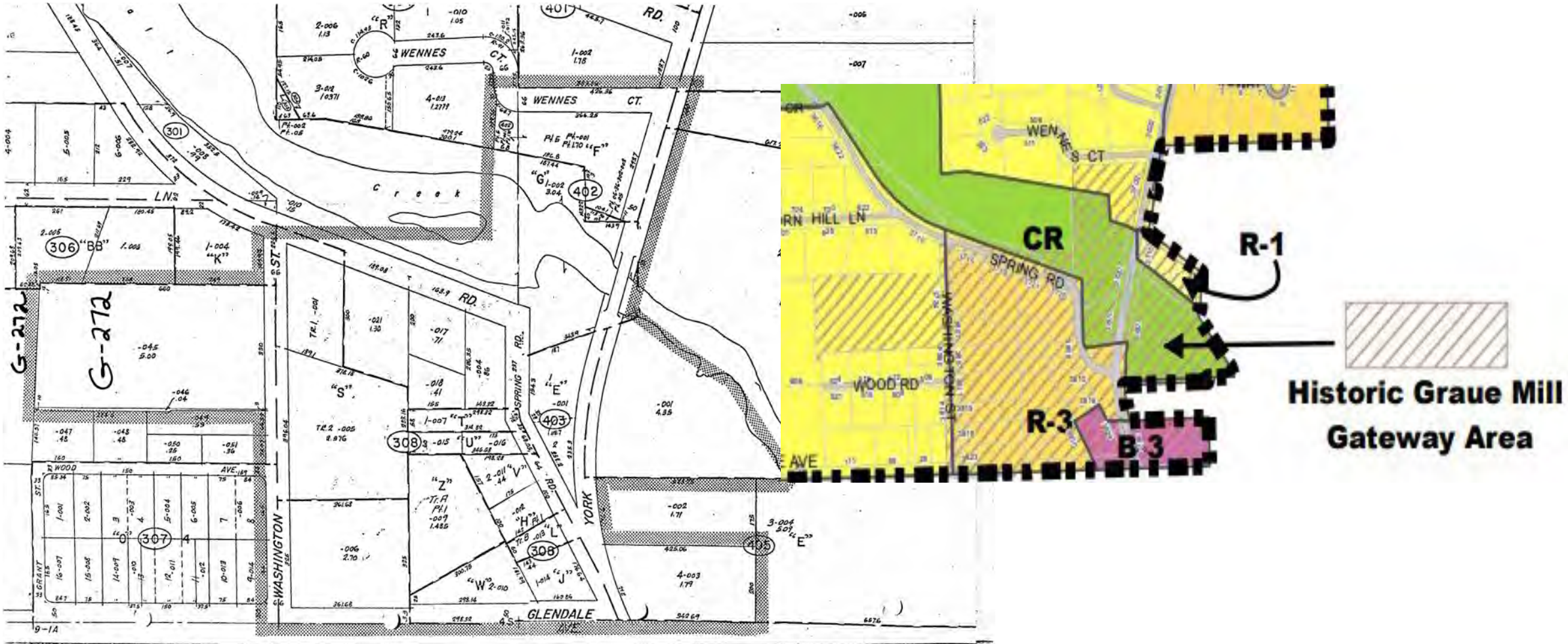
ROOF, GUTTERS, FASCIA



PROPORTION OF REAR WINDOWS

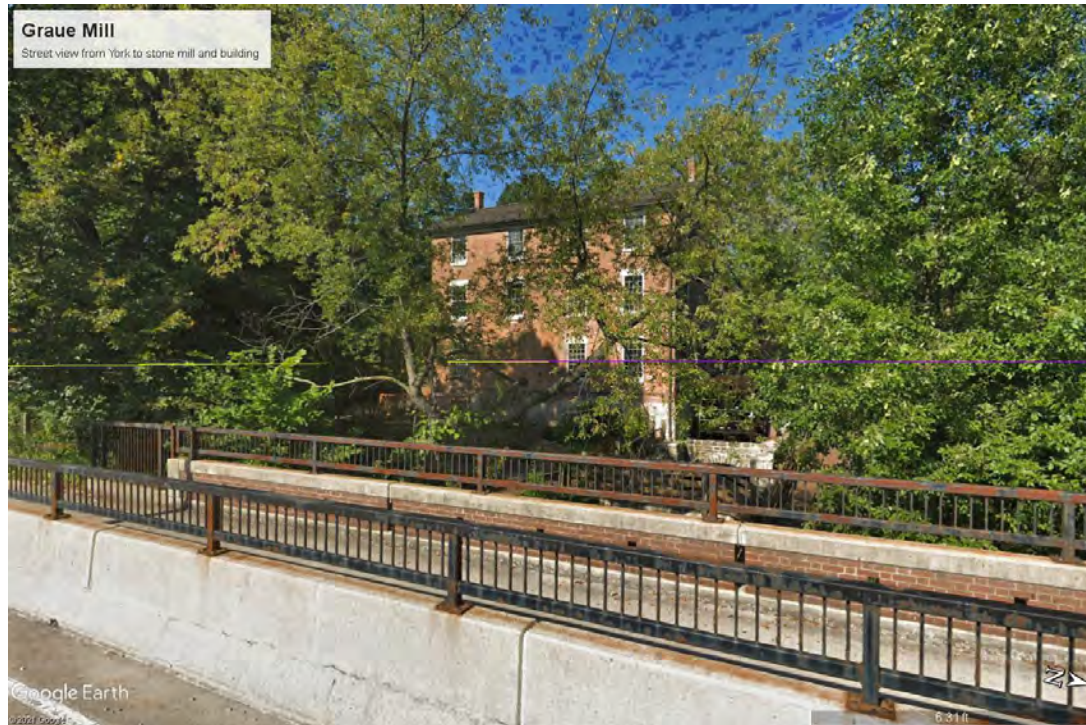


GRAUE MILL GATEWAY PLANNING AREA



LANDSCAPING (TRENDS INCONSISTENTLY)

Open yards, foundation, trees, shrubs



ADJACENT ARCHITECTURE

FAITH FELLOWSHIP CHURCH (WEST)



SOUTH NEIGHBOR



ADJACENT ARCHITECTURE

EAST (REAR) NEIGHBOR



NORTH NEIGHBOR TO BE DEMOLISHED



OTHER HOMES IN BLOCK

3721 SPRING ROAD (DCFPD OWNS)



3807 WASHINGTON



OTHER HOMES IN BLOCK

3823 WASHINGTON STREET



3819 WASHINGTON STREET



OTHER HOMES IN BLOCK

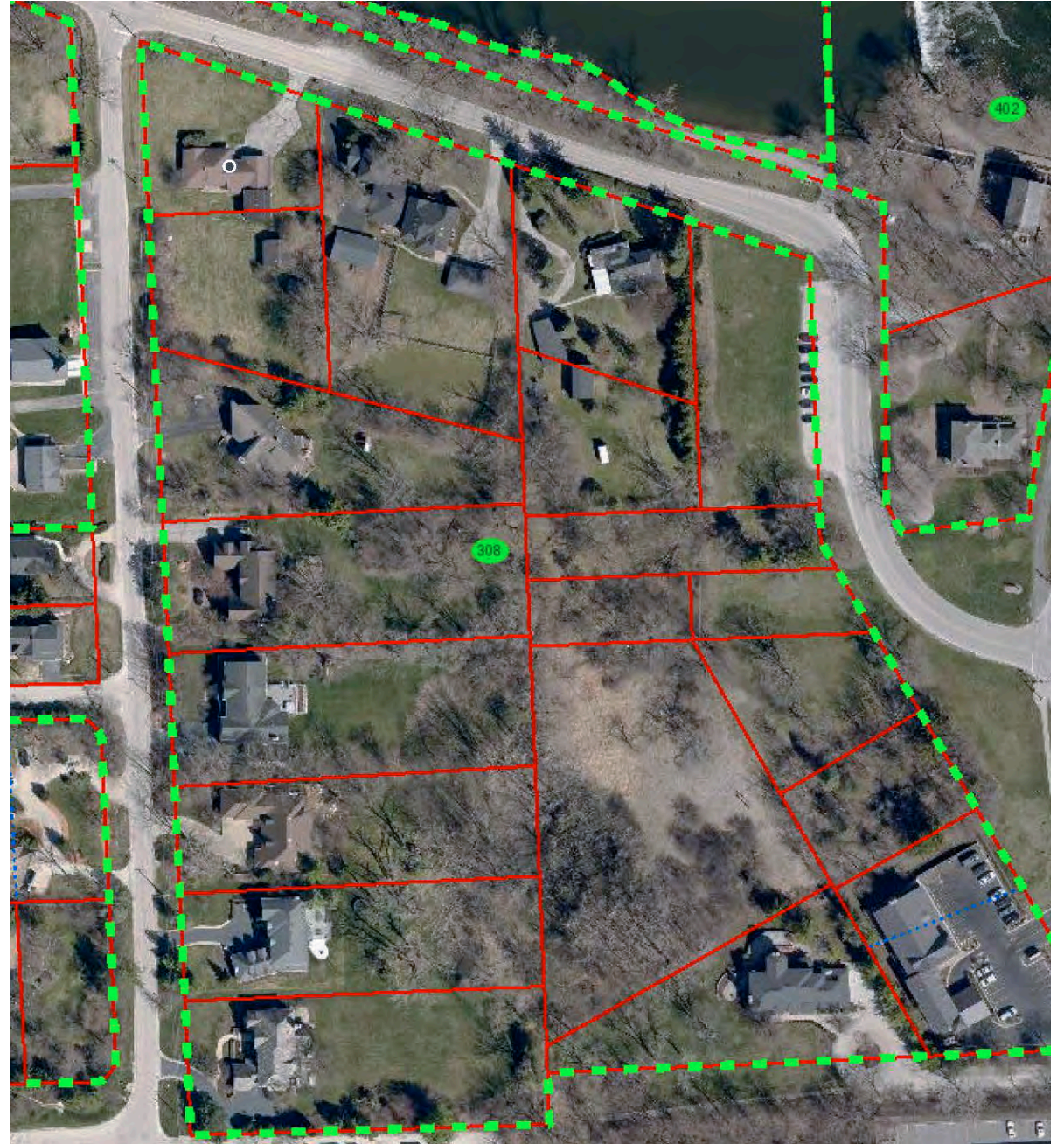
3815 WASHINGTON



3811 WASHINGTON



AERIAL OF BLOCK



NORTH OF SALT CREEK (ONE ZONING LOT)

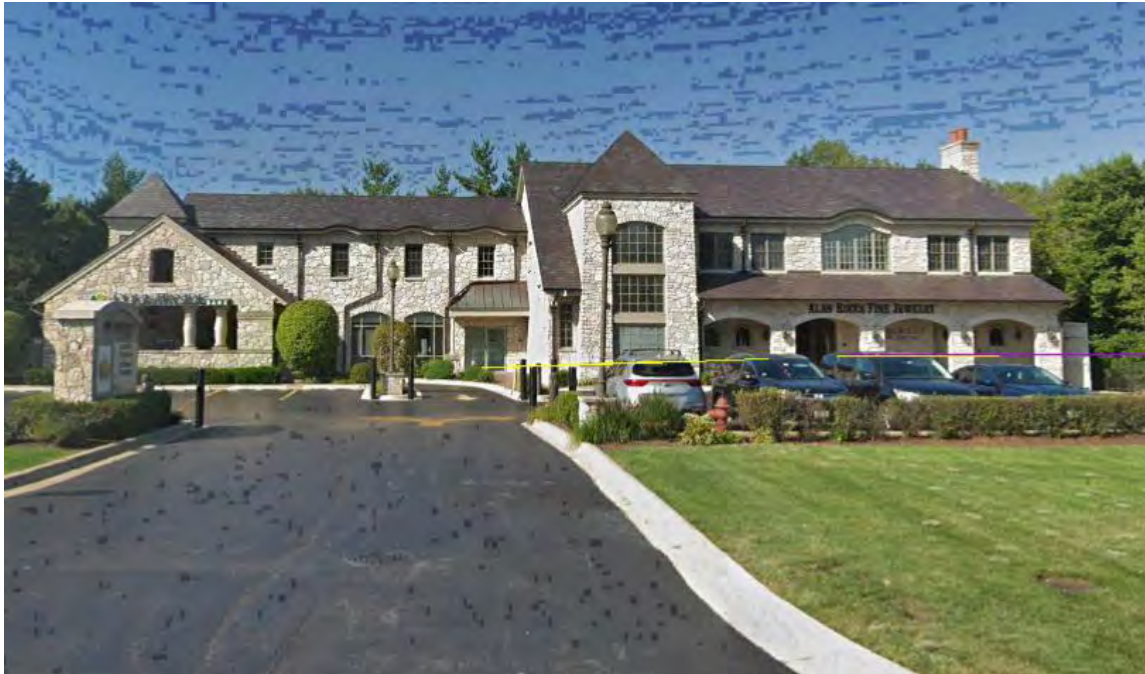
YORK TAVERN



GATEWAY COMMERCIAL ARCHITECTURE

MUSEUM

3824 YORK ROAD



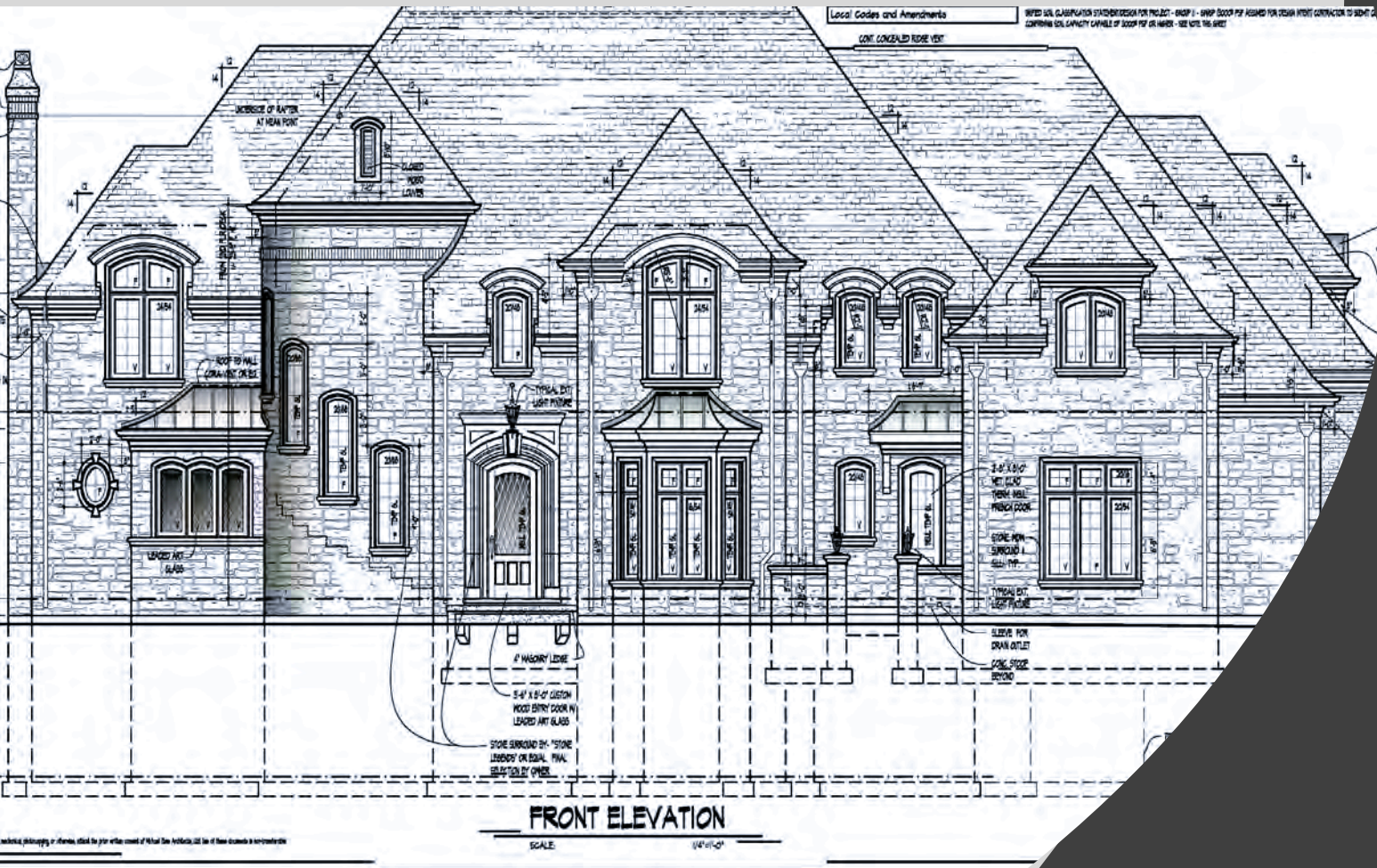
LIQUOR STORE

3900 YORK ROAD NOT VISIBLE FROM ROW



ARCHITECTURAL STYLES 1852-1868

- Federal (1789-1865)
 - Adam (decorative, 6 pane 2x hung)(3719 Spring)
 - Greek Revival (low roof pitch, columns)(3719 Spring)
 - Antebellum (higher roof, columns)(none, likely positive due to underground railroad history)
- Victorian (1837-1914)
 - Queen Anne (steep differentiated rooflines)(Faith Fellowship)
 - Gothic Revival (steeply pitched, asymmetrical facades)(3823 Washington)
 - Second Empire (ornate window planning, often above lower roof line)(none)
- Arts and Crafts (1860-1920)
 - Colonial Revival (3811 Washington)
 - Bungalow (Museum as viewed from York Road)
- Edwardian (1870-1915)(windows above, varied facades rooflines)(3819 Washington)



SAHLI APPEARANCE REVIEW REVISION

Plan Commission Special Meeting
February 15, 2022



INTENDED STONE APPEARANCE



INTENDED STRUCTURAL APPEARANCE

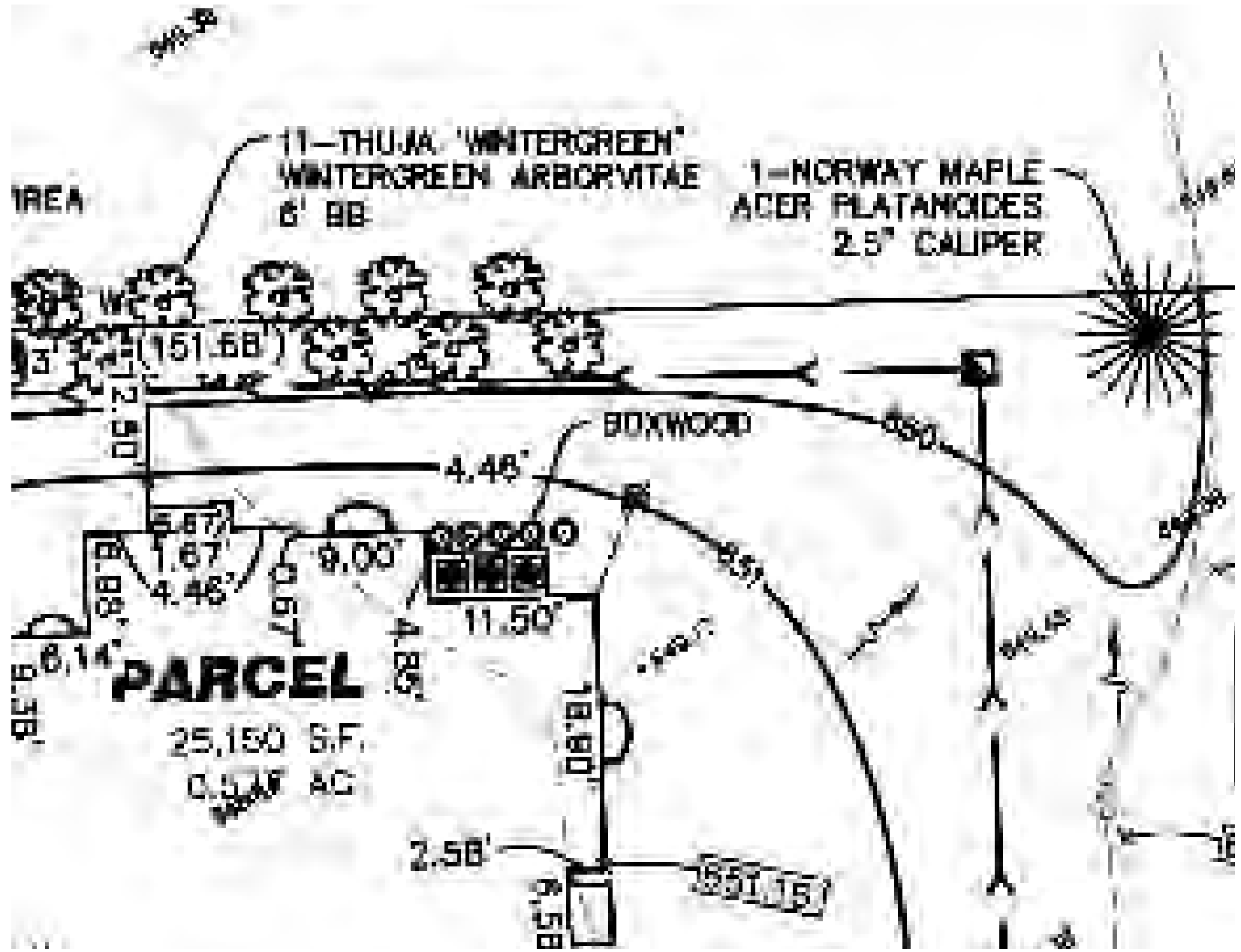
Additional site design modifications are as follows:

1. Increase building setbacks for the north, east and west yards (or combination thereof), (DISPUTED)
2. Increase driveway setback along the length of the south property line, (DONE)
3. Revise landscape plan to incorporate landscaping adjacent to the proposed driveway and to identify the proposed screening for all ground mounted mechanical units. (DONE)



AMUR MAPLE

Three (3) air conditioning units and an electrical meter are identified in the north (left) building elevation and one air conditioning unit is identified in the east (rear) building elevation. *All mechanical equipment must be adequately screened to comply with building design criteria for the Gateway Area. Screening should be provided from the public ROW and neighboring adjacent properties and should be incorporated in a revised landscape plan submittal.*



AREA

11-THUJA "WINTERGREEN"
WINTERGREEN ARBORVITAE
6' BB

1-NORWAY MAPLE
ACER PLATANOIDES
2.5" CALIPER

3

151.58'

2.50'

BOXWOOD

4.48'

5.67'
8.67'

9.00'

11.50'

PARCEL

25,150 S.F.
0.578 AC

9.58'

2.58'

18.80'

6.58'

1551.15'

NORWAY MAPLE

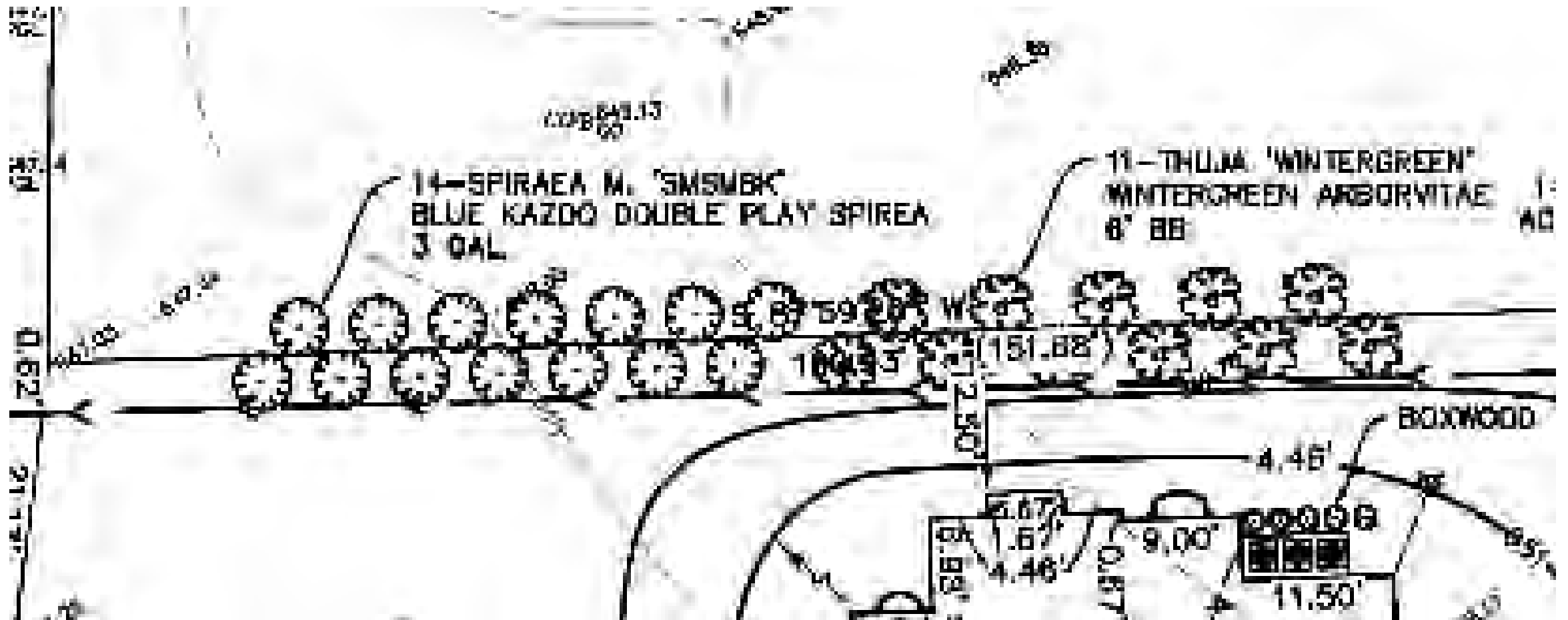


WINTERGREEN
ARBOR VITAE





BOXWOOD



ALTERNATING PLANTINGS ON EACH LOT

Blue Kazoo
Double Play
Spirea





SUMMER
WINE
NINEBARK



NORWAY MAPLE



WINTERGREEN ARBOR VITAE

In addition, staff is recommending that the landscape setback for the driveway be increased from two (2') feet to at least five feet (5') from the southern property line. The proposed landscape plan identifies six (6) foot high arborvitae trees in this "screening" area and these trees would be better served with a larger setback and landscape area for better tree health and longevity. A larger landscape setback would also allow some more options or tree diversity for this screening area.
(PAGE THREE)

FOUR (4) FEET IS SUFFICIENT PER CIVIL AND LANDSCAPE PROFESSIONAL



February 3, 2022

Mr. Michael Sahli
17W300 22nd Street, Suite 200
Oakbrook Terrace, IL 60181
(630) 310-8668

Subject: 3715 Spring Rd, Oak Brook - Landscaping

Dear Mr. Sahli,

The 4' landscaping strip south of the drive is sufficient for planting the "summer wine ninebark" and "wintergreen arborvitae" plants shown on the proposed landscape plan.

If you have any questions, please contact me at 630-393-3060 or at jgreen@eraconsultants.com.

Sincerely,
ENGINEERING RESOURCE ASSOCIATES, INC.
WARRENVILLE

Jon Green, PE, CFM
President
3s701 West Avenue, Suite 150
Warrenville, IL 60555

PROVIDE 2 (MIN.)
TREE TIES TO
ADJUST TENSION
USE 3 TIES IF
NECESSARY TO
SECURE TREE.

GUY STAKE
@ 45 DEGREE
ANGLE



POSITION TIE WITH
1/2" CLEAR ON ALL
SIDES OF TRUNK

STAKING/GUYING PLAN

STAKING REQUIRED FOR 5'-0" HT. AND TALLER TREES ONLY.
ALTERNATE STAKING METHODS MAY BE ACCEPTABLE WITH THE
APPROVAL OF THE APPLICABLE CITY AUTHORITY. 3 STAKES MAY
BE REQUIRED FOR TREES WITH GREATER THAN 3" CALIPER.
CONIFERS ARE TO BE TIED AT MID-POINT. STAKE LOOSE
ENOUGH TO ALLOW SOME MOVEMENT IN WIND. CONIFERS
MAY BE STAKED THE SAME AS DECIDUOUS TREES AS AN
OPTION.

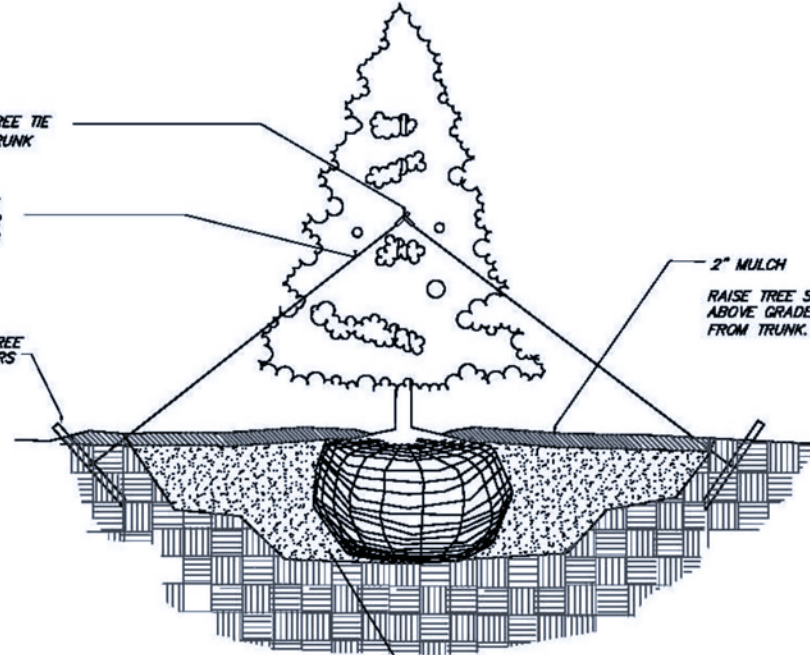
NOTES:

1. CONDUCT TREE PIT DRAINAGE TEST PRIOR TO PLANTING.
IF WATER IN HOLE DROPS 1/2" PER HOUR, DRAINAGE IS
ACCEPTABLE. OWNER'S REP MUST BE PRESENT.
2. SPECIAL GRADING AND/OR PIT DRAINAGE WILL BE
REQUIRED PER DTL. IF PERCOLATION IS A PROBLEM.
3. MAINTAIN THE TREE IN GOOD HEALTH AFTER DELIVERY.
HEAL IN W/ DAMP SAWDUST IF NOT IMMEDIATELY PLANTED.
4. REMOVE ANY WIRE, STRING, BURLAP OR OTHER
FASTENERS FROM ROOTBALL PRIOR TO PLACEMENT.
REMOVE FROM SITE.
5. FLOOD PIT TO FILL ALL VOIDS.
6. APPLY 2" MULCH. KEEP 6" FROM TRUNK.

3/4" CHAINLOCK TREE TIE
TO PROTECT TREE TRUNK
TIE @ 1/2 TREE HT.

14 GAUGE GUY WIRE
ATTACHED TO 2 X 2
STAKES X 24" LONG

2 - 3 GUY WIRES/TREE
W/ DUCKBILL ANCHORS



2" MULCH

RAISE TREE SO THAT CROWN IS
ABOVE GRADE & MULCH IS 6"
FROM TRUNK.

CONIFERS ARE REQUIRED TO BE 6'-8'
TALL AT TIME OF PLANTING.
SIZES MAY VARY ABOVE AND BELOW THIS
STANDARD IN AREAS PROPOSED AS
NATIVE GROWTH AREAS. SMALLER TREES
ESTABLISH QUICKER AND LOOK MORE
NATURAL. APPROVAL WILL BE REQUIRED
FROM THE CITY OF ISSAQUAH.

DIG SHALLOW, WIDE PIT, AT SAME DEPTH AS BALL,
BUT THREE TIMES AS WIDE. MIX NATIVE TOPSOIL IN WITH
EXISTING SOIL, 50/50 TO CREATE TRANSITION W/
EXISTING. IF EXISTING NATIVE SOIL IS ACCEPTABLE
USE 100 % FOR NATIVE CONIFER PLANTING.

CONIFER TREE PLANTING AND STAKING

N.T.S. 12/6/11



WOODLAND
SAGE

NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS... 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE BOOKS...

CONCRETE NOTES

1. ALL CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL CONCRETE CODE BOOKS... 2. ALL CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE BOOKS...

ELECTRICAL NOTES

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PLUMBING NOTES

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MECHANICAL NOTES

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EXHAUSTION NOTES

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INSULATION NOTES

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FINISHES NOTES

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GENERAL NOTES

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MANUFACTURED LAMINATE MEMBERS

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DESIGN LOADS

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TO PROVIDE COMPLIANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE...

Table with 4 columns: CLIMATE ZONE, INSULATION TYPE, R-VALUE, U-VALUE. Rows for Climate Zones 1 through 8.

ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT

Table with 4 columns: CLIMATE ZONE, INSULATION TYPE, R-VALUE, U-VALUE. Rows for Climate Zones 1 through 8.

CLIMATE CLASSIFICATIONS

- 2015 International Residential Code (IRC) Amendments
2015 International Mechanical Code (IMC) Amendments
2015 International Building Code (IBC) Amendments
2015 International Energy Conservation Code (IECC) Amendments
2014 National Electrical Code (NEC) Amendments
2014 International Plumbing Code (IPC) Amendments
Local Codes and Amendments

CLIMATIC & GEOGRAPHIC DESIGN

Table with 4 columns: BROAD CLIMATE LOAD, WIND SPEED (MPH), DESIGN WIND CATEGORY, WEATHERING, FROST LINE DEPTH, TERRACE, WINTER DESIGN TEMP.

NOTED: ALL CLASSIFICATION DATA IS FOR DESIGN PURPOSES ONLY. SEE LOCAL CODES FOR SPECIFIC REQUIREMENTS.

NOTES

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"

WEST/FRONT BUILDING ELEVATION

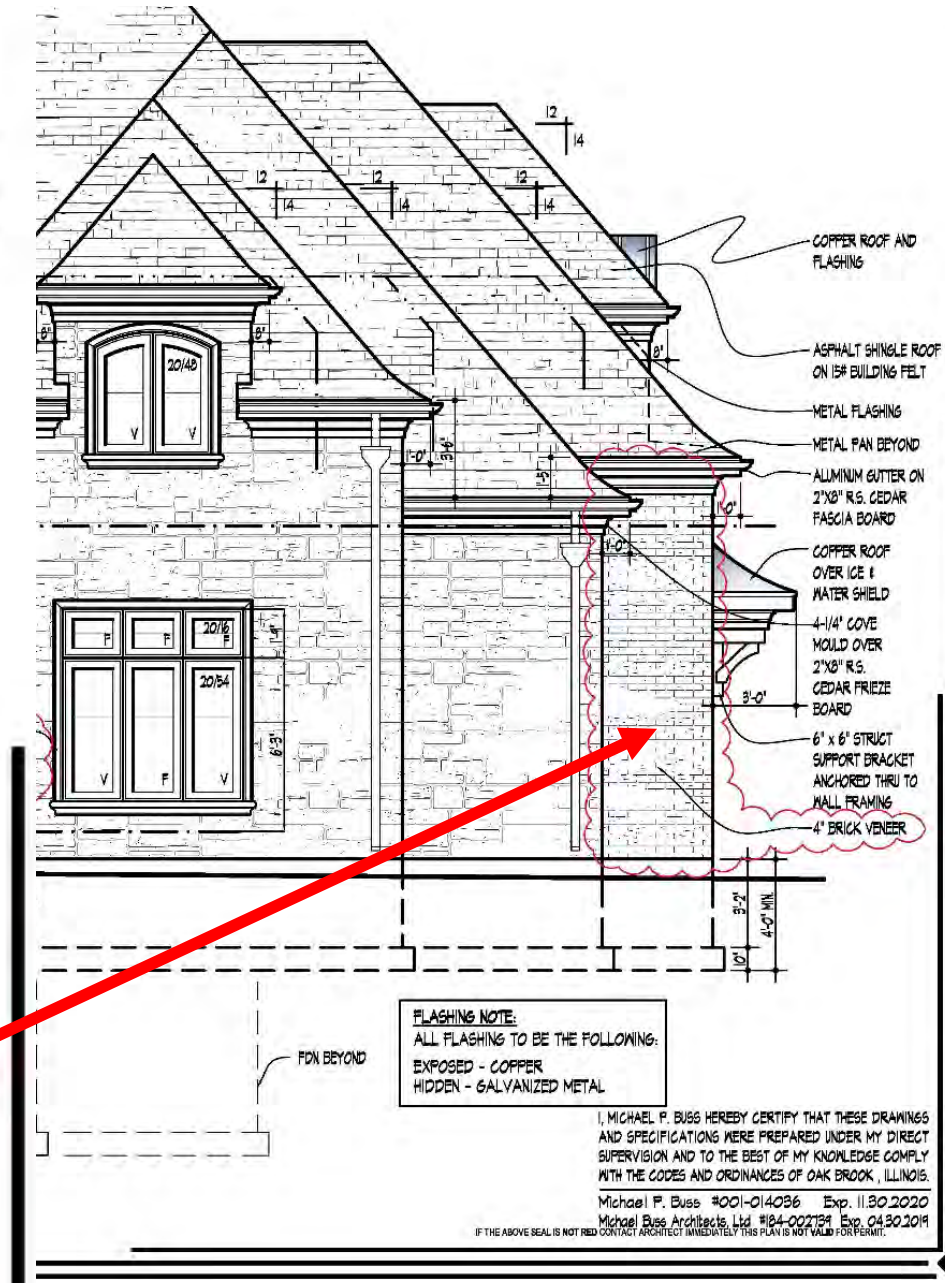
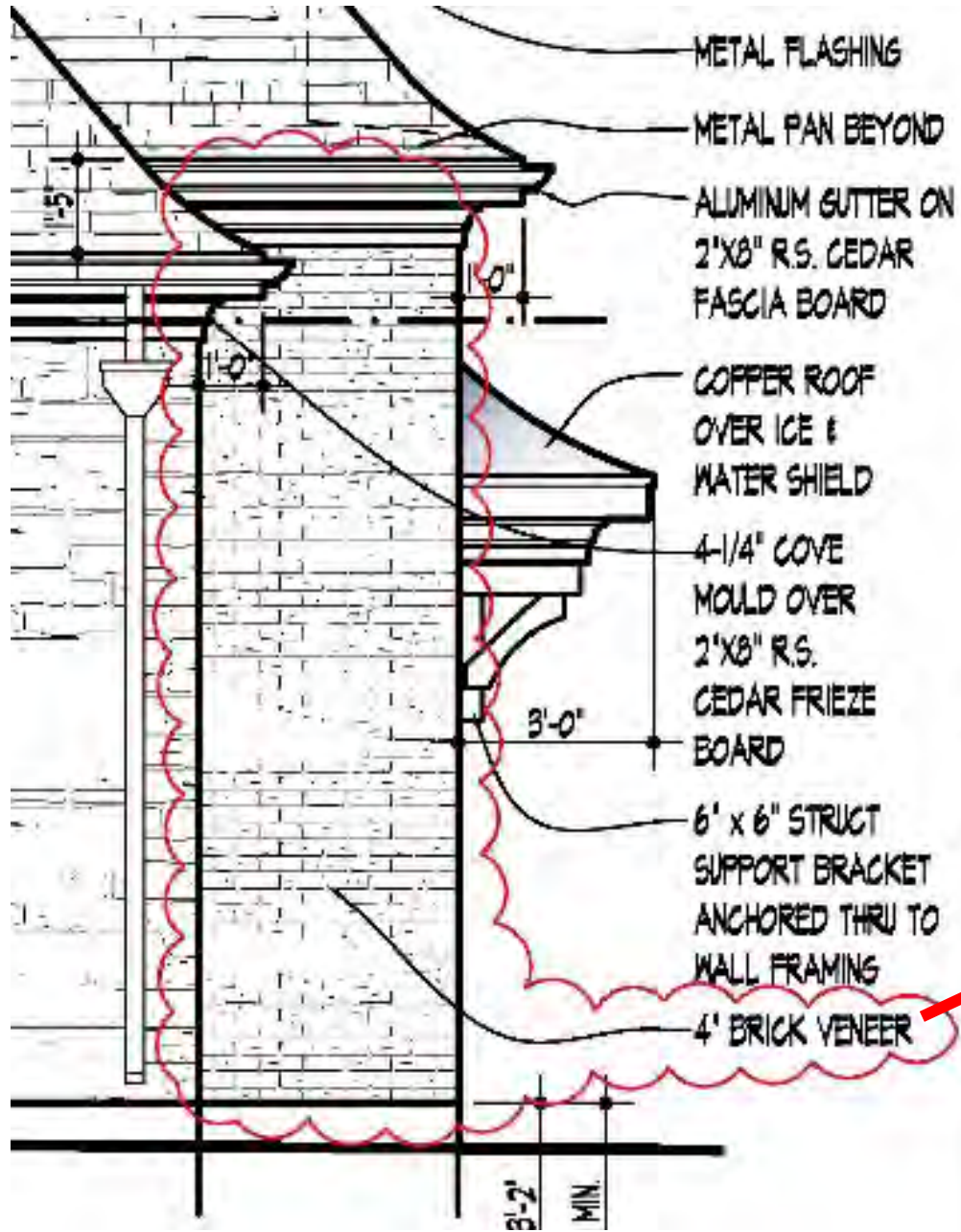


MET. CLAD
THERM. INSL.
FRENCH DOOR

STONE MCM
SURROUND &
SILL - TYP.

TYPICAL EXT.
LIGHT FIXTURE





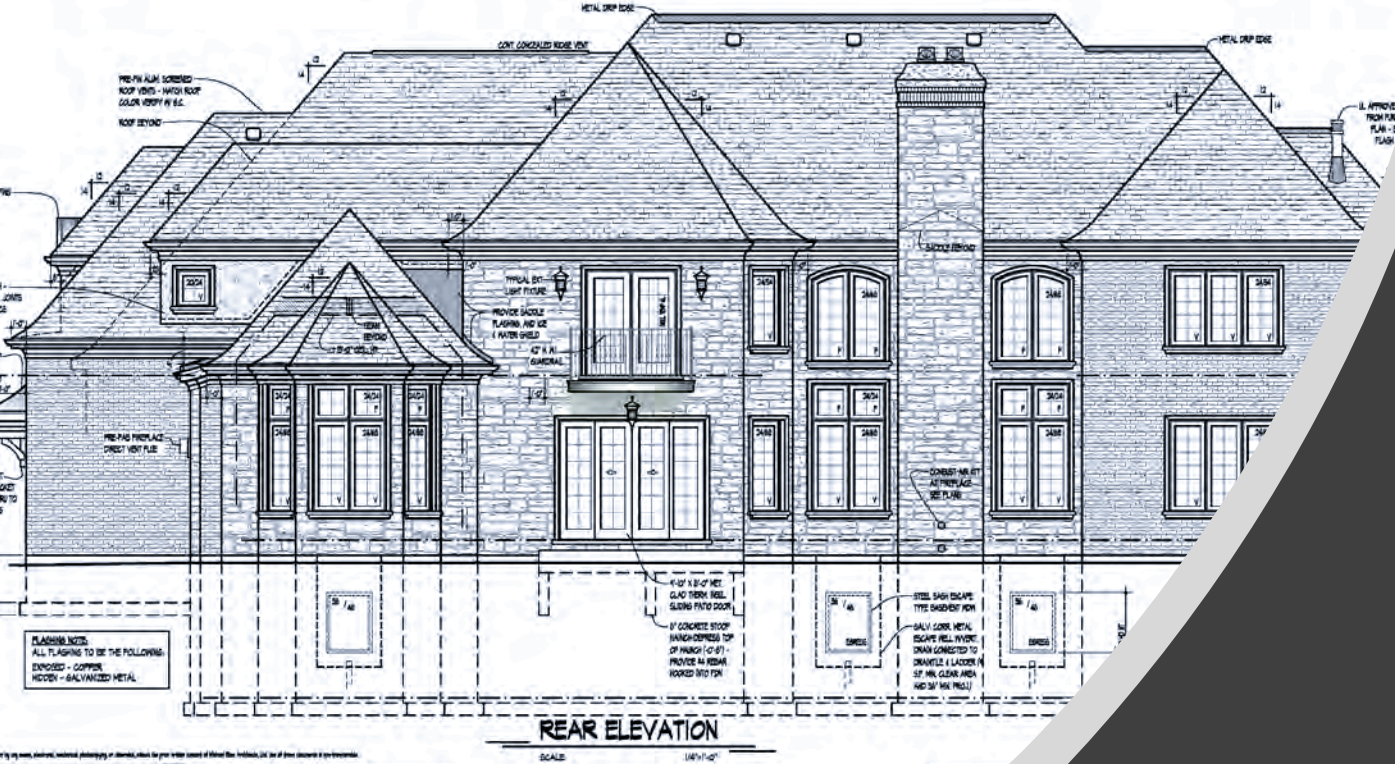
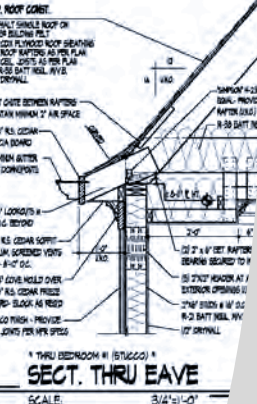
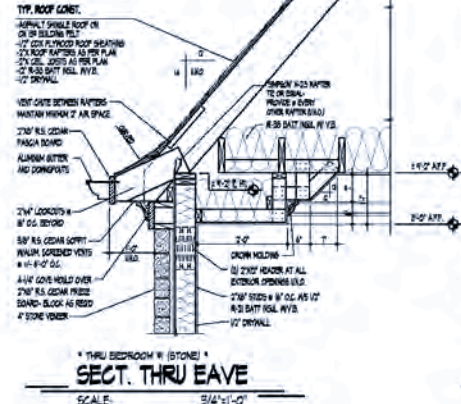
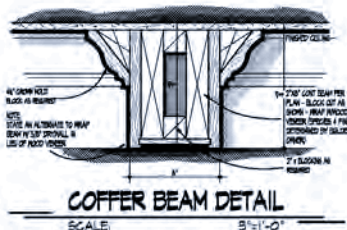
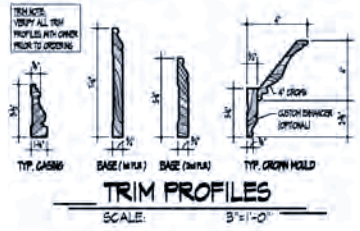
Project Number:	18024	Date	6.26.18
Designed by:	MPB	No.	01
Drawn by:	MBJE	No.	02
Checked by:	MPB	Date	6.22.18
Scale:	AS NOTED		



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 9324 South Roberts Road, Suite 1S
 Hickory Hills, Illinois 60457
 Office 708.598.0400 Fax 708.598.0433
 www.mbusarchitects.com

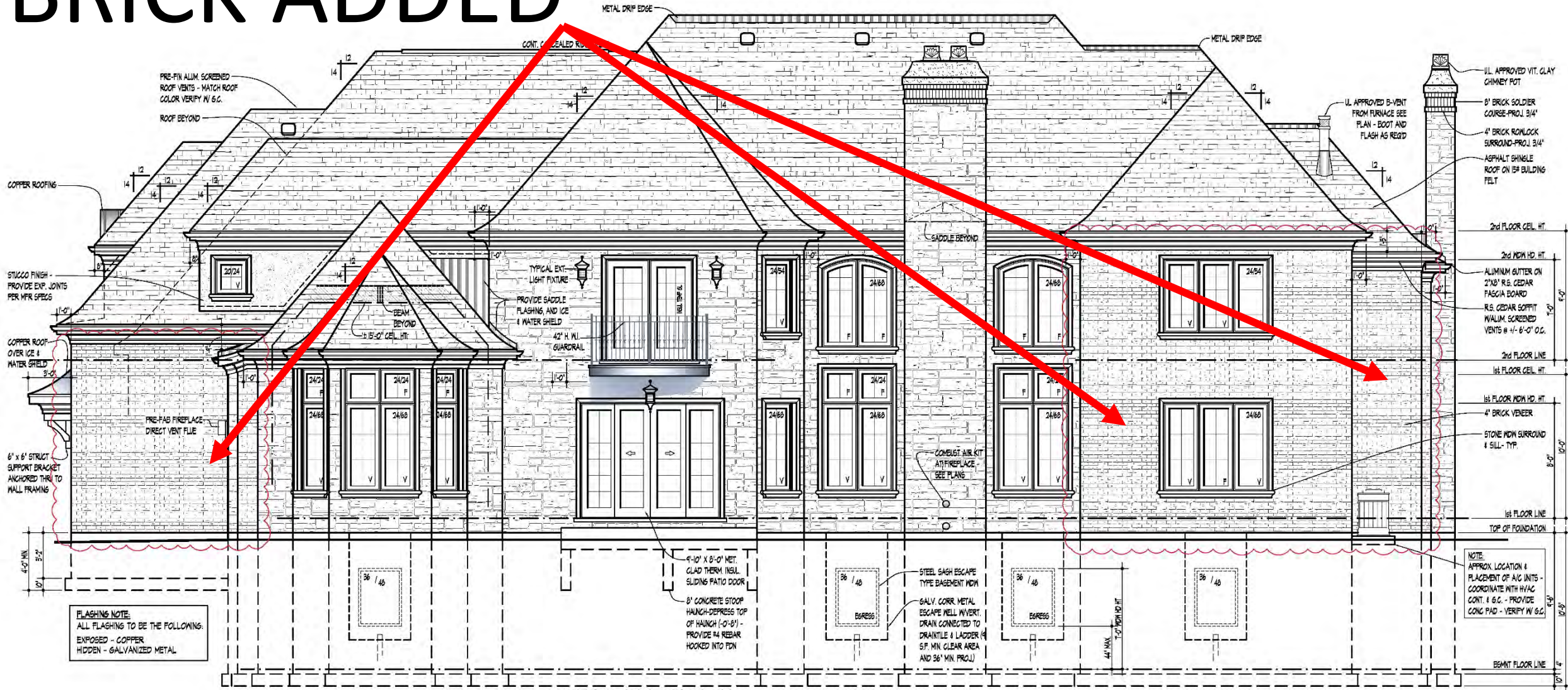
A

ALL-WAY
ELEVATION
SCALE: 1/2"=1'-0"



EAST/REAR
BUILDING
ELEVATION

BRICK ADDED



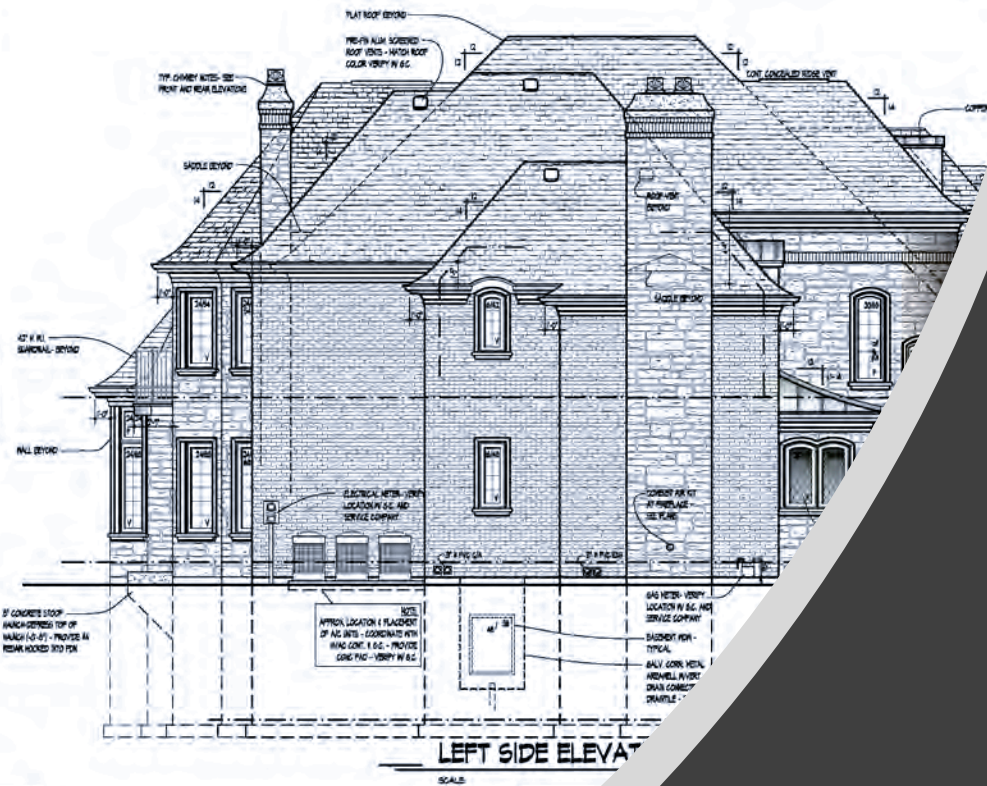
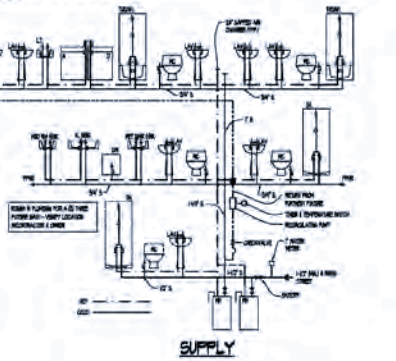
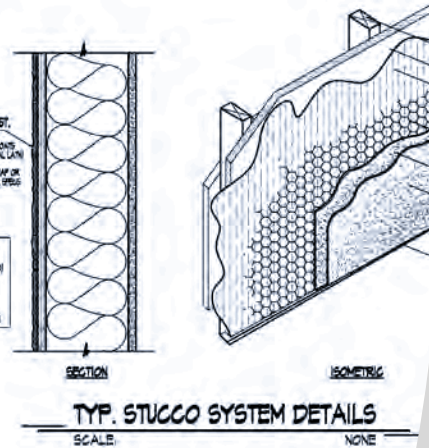
REAR ELEVATION

REMAND - PLUMBING CHART

SIZE	TOTAL	CON.	TRK.	TRK.	TRK.	TRK.	REMARKS
1/2"	12	12	2	10	2	2	PLUMBING
3/4"	12	12	2	10	2	2	PLUMBING
1"	12	12	2	10	2	2	PLUMBING
1 1/2"	12	12	2	10	2	2	PLUMBING
2"	12	12	2	10	2	2	PLUMBING
3"	12	12	2	10	2	2	PLUMBING
4"	12	12	2	10	2	2	PLUMBING
6"	12	12	2	10	2	2	PLUMBING
8"	12	12	2	10	2	2	PLUMBING
10"	12	12	2	10	2	2	PLUMBING
12"	12	12	2	10	2	2	PLUMBING

LIGHT AND VENTILATION SCHEDULE

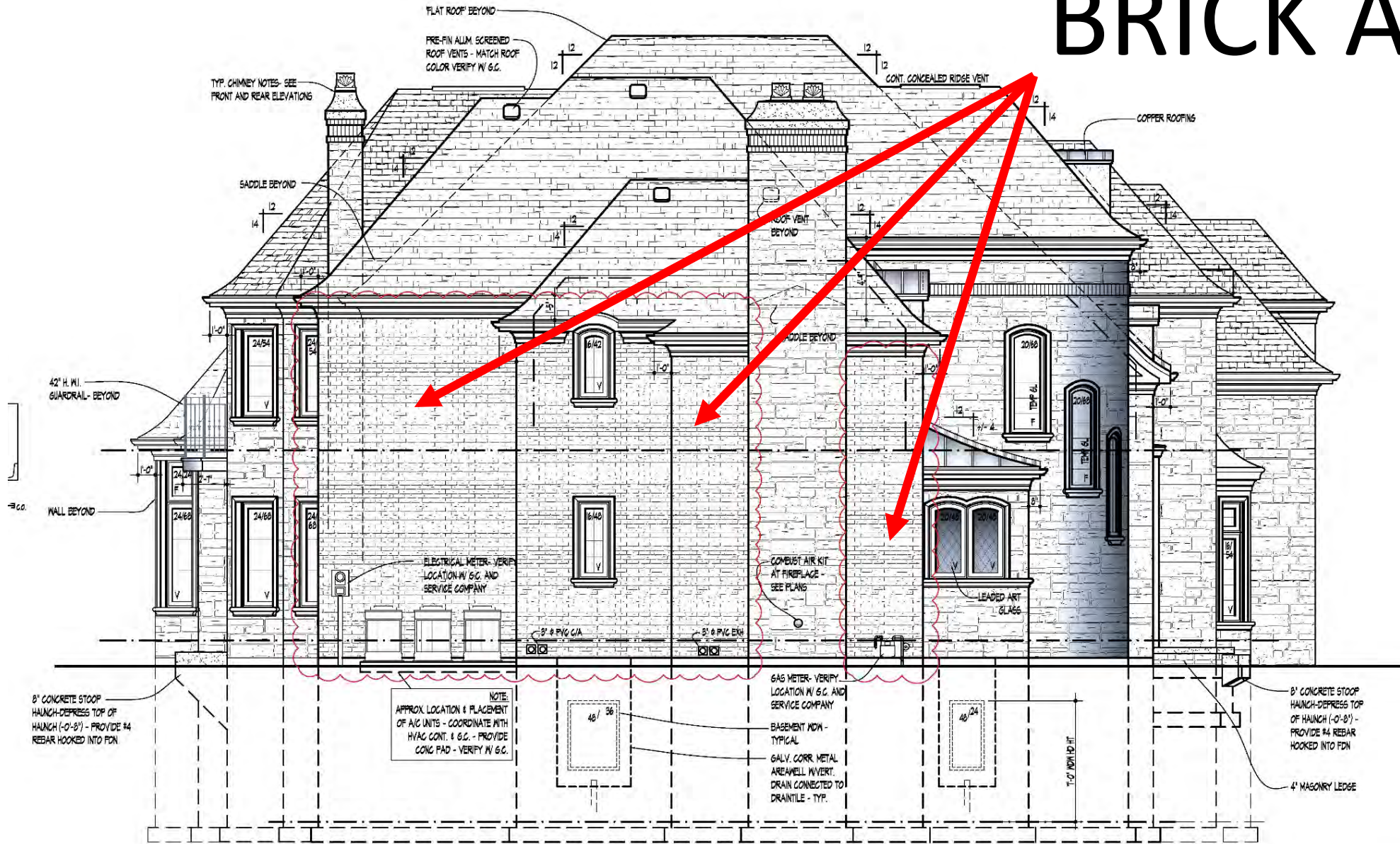
ROOM	SQ. FT.	LIGHT		VENTILATION		NOTES
		REQ'D	ACTUAL	REQ'D	ACTUAL	
FAMILY ROOM	272	21	42	4	40	
DINING ROOM	228	20	24	1	30	
KITCHEN	228	20	24	1	40	
BREAKFAST ROOM	97	11	6	2	46	
PORCH	54	—	—	40 CFM	—	50 CFM DR. PAN
BEDROOM #1	41	4	44	3	34	
BATH #1	25	—	—	18 CFM	—	50 CFM DR. PAN
BATH #2	84	—	—	36 CFM	—	200 CFM DR. PAN
STUDY	68	11	42	4	30	
BEDROOM #2	208	20	22	0	6	
BATH #3	65	—	—	8 CFM	—	50 CFM DR. PAN
BEDROOM #3	28	22	25	1	112	
BEDROOM #4	291	20	24	1	6	
BATH #4	44	—	—	32 CFM	—	40 CFM DR. PAN
BATH #5	78	—	—	132 CFM	—	50 CFM DR. PAN
BEDROOM #5	220	20	20	1	32	
SHEDDING # 20	240	12	9	42	9	



NORTH/SIDE BUILDING ELEVATION

By no means a contract, technical, proprietary, or otherwise, shall be your other source of information. It is the responsibility of the contractor to verify all information and specifications.

BRICK ADDED

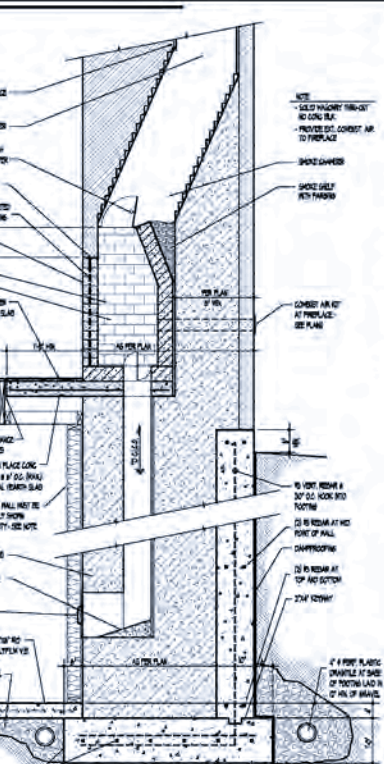


LEFT SIDE ELEVATION

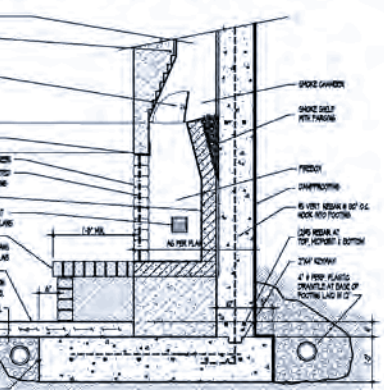
SCALE:

1/4" = 1'-0"

IF THE ABOVE SEAL IS NOT RED CONTACT ARCHITECT IMMEDIATELY THIS PLAN IS NOT VALID FOR PERMIT.



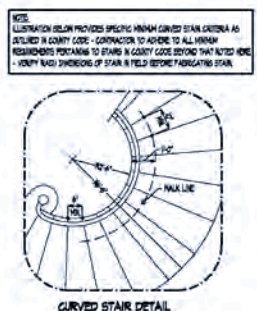
SECTION THRU FIREPLACE @ STUDY



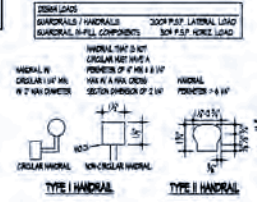
SECTION THRU FIREPLACE @ BASEMENT

FIREPLACE SECTIONS

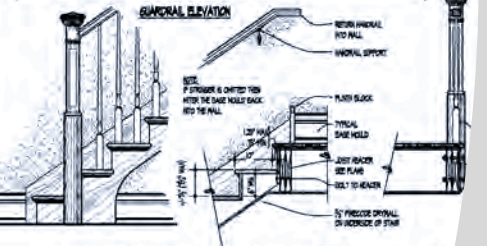
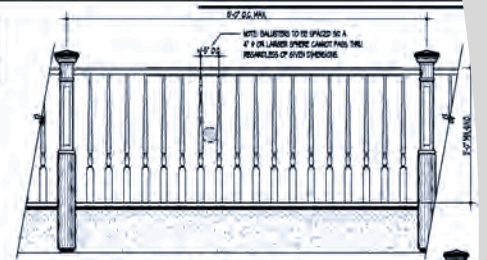
- ELEVATION NOTES:**
- SCREEN TO BE A MINIMUM 2" CLEARANCE FROM THE NEAREST ROOF VENT 12" IF APPLICABLE
 - PROVIDE ROOF VENTILATION FOR USDB OF THE CEILING AREA PLUS SOFTLY VENTILATION AS REQUIRED - SEE ROOF PLAN
 - ALL BEDROOM WINDOWS ARE TO HAVE AN ESCAPE WINDOW WITH A MINIMUM NET OPENING OF 20 SQ FT OR 5.7 SQUARE FEET MIN. AT 20" OF RAISE HALL - VERIFY SIZES IN SPEC. S.G. TO PROVIDE WINDOW MFR CATALOG SPECIFICATION 1/2" SIZES VERIFYING COMPLIANCE IN MFR MANUALS FOR BEDROOMS
 - NON-RESILATION PROTECTIONS MUST BE ON SIZES AT THE TIME OF INSPECTION
 - ALL WINDOWS LOCATED IN BEDROOMS NEAR ANY TUB OR BATH SHALL HAVE TO HAVE TEMPORARY SAFETY GLAZING
 - ALL BATHROOM WINDOWS ARE TO BE STEEL SASH TYPE WITH ESCAPE TYPE WINDOWS ARE LOCATED ON FLOOR AT 45" MIN. - S.G. PROVIDE PROTECTIVE COVER OVER WELLS WELLS GREATER THAN 1/4" IN DEPTH SHALL PROVIDE A MIN. NET CLEAR AREA OF 4 SQ. FT. A PERMANENTLY ATTACHED LASSURE OR STOPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION - RANGE OF 1/4" AT 7" FROM THE WALL - SPACED NO MORE THAN 16" S.G. VERIFY FOR FALL AT 4" OF WALL. S.G. VERIFY DIMENSIONS FOR ALL TUBS, SHOWERS AND TUBS LOCATIONS AS WELL AS ALL RELATED DRIVING INFORMATION BOTH HORIZONTAL & VERTICAL HORIZONTAL AT MIN. FOOTING DEPTH BELOW GRADE - WHERE APPLICABLE
 - PROVIDE USE 1" MINOR GUTTERS AT ALL VALLEYS, AT ALL SIDES EXCEPT 2" MIN. BEYOND THE EXTERIOR WALL LINE OF THE BUILDING AND ALL ROOF SURFACES LOWER THAN 4" G. CONTINUOUS ROOF STRUCTURAL PANEL EXT. WALL GUTTERING TO BE 1/4" RATED SIZES 2" OR 2" OF THICK THROUGHOUT - SO HALLWAYS IDENTIFICATION, WEATHER AND ARCHITECTS APPROVAL. ALL SEAM LAMEN TO BE PRO-PAVED OR EXTERIOR GRADE QUALITY GUTTERS
 - ANY FACTORS IN CONTACT IN PRESSURE RELATED ROOF SHALL BE NOT OFFER BALANCED, STAINLESS, SILICONE BRONZE, OR GALVALUM CORROSION RESISTANCE
 - WINDOW SIZES CONTROLLED AND BASIC GLAZING SIZES - NET CLEAR OPENING SIZES - S.G. TO PROVIDE WINDOW MFR CATALOG SPECIFICATION 1/2" SIZES VERIFYING COMPLIANCE IN WINDOW SIZES FOR SLEEPING ROOMS SEE GENERAL NOTES FOR ADDITIONAL INFORMATION



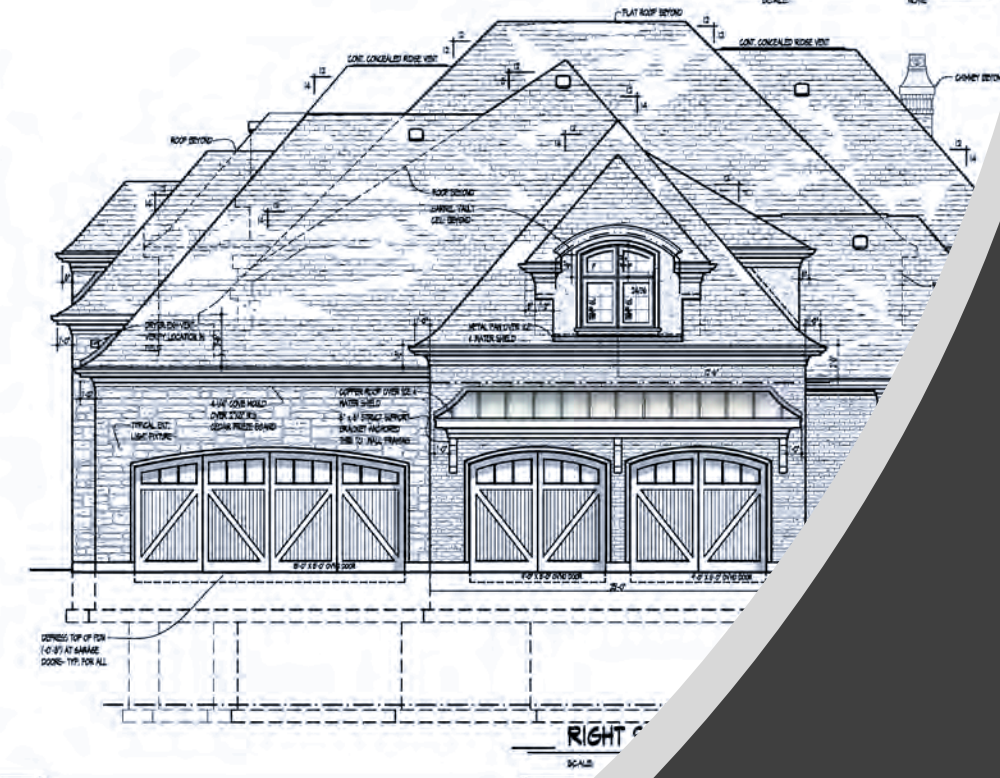
CURVED STAIR DETAIL



TYPE I HANDRAIL TYPE II HANDRAIL

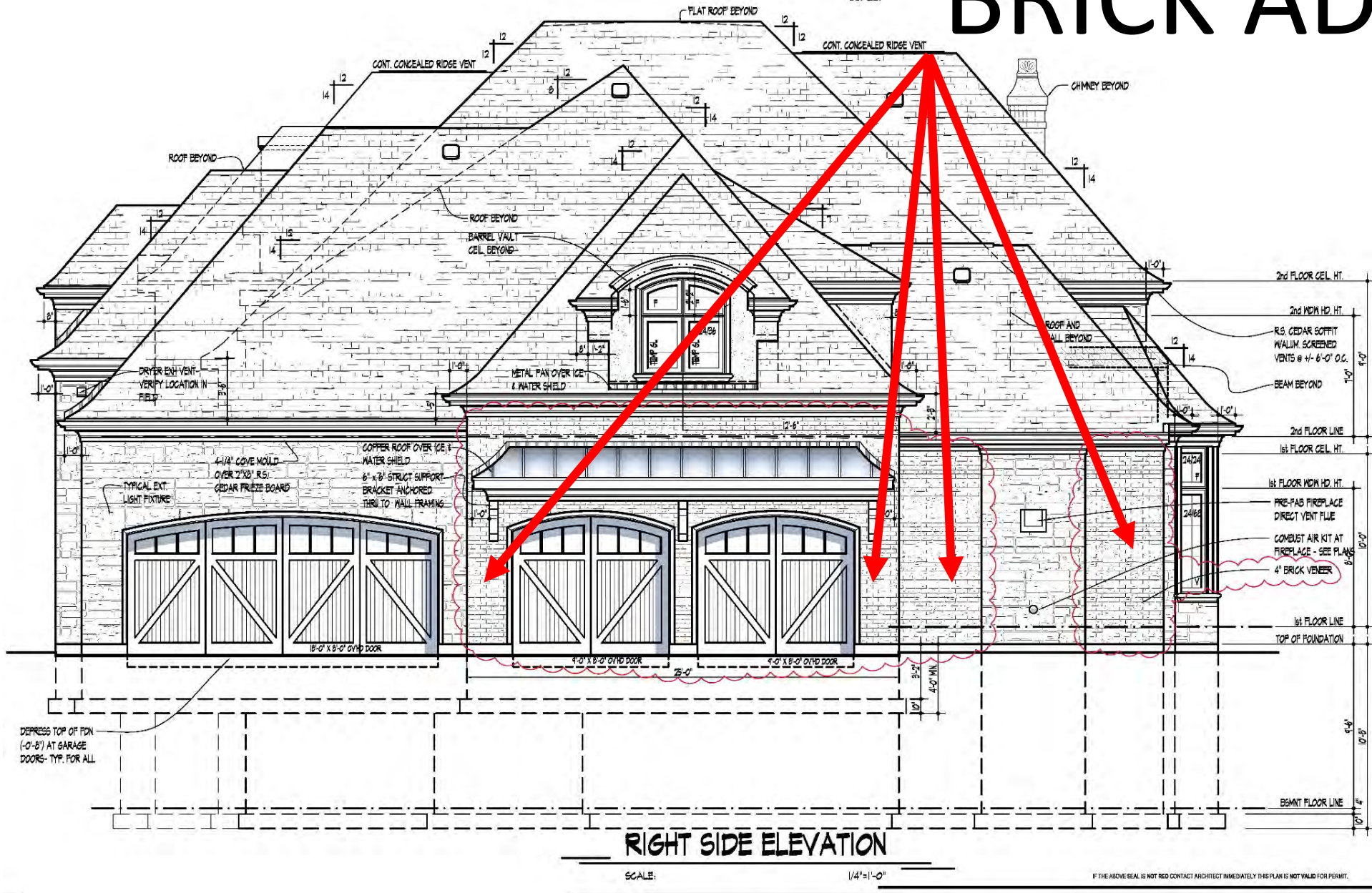


STAIR DETAILS



SOUTH/SIDE BUILDING ELEVATION

BRICK ADDED



The proposal complies with the minimum requirements of the R-3 district with regard to building setbacks and lot coverage. Setbacks for the R-3 district are 40' front, 12' interior side yard, 23' side yard for side load garage and 40' rear yard. As mentioned in the petitioner's narrative, the side yard (south) setback with the side load garage does exceed the minimum setback requirement. The front, rear and interior side (north) setback all meet the minimum requirements. *Staff is recommending that additional consideration be given to site design changes to be in keeping with the intent and purpose of the Gateway Area plan to provide increased setbacks/yards where practical to provide "interesting" relationships between buildings. (PAGE THREE)*

The site plan/design has been evaluated in subsection A. above. As mentioned, a closer review and analysis of the building and driveway setbacks are recommended to meet the intent and purpose of the Gateway Area and to provide a better overall design aesthetic. (PAGE FOUR)



2' setback from York Road
20' setback from Wennes Court

18-20' setback from York Road

8' setback to commercial parking

45' setback from York Road
to the much taller Graue Mill

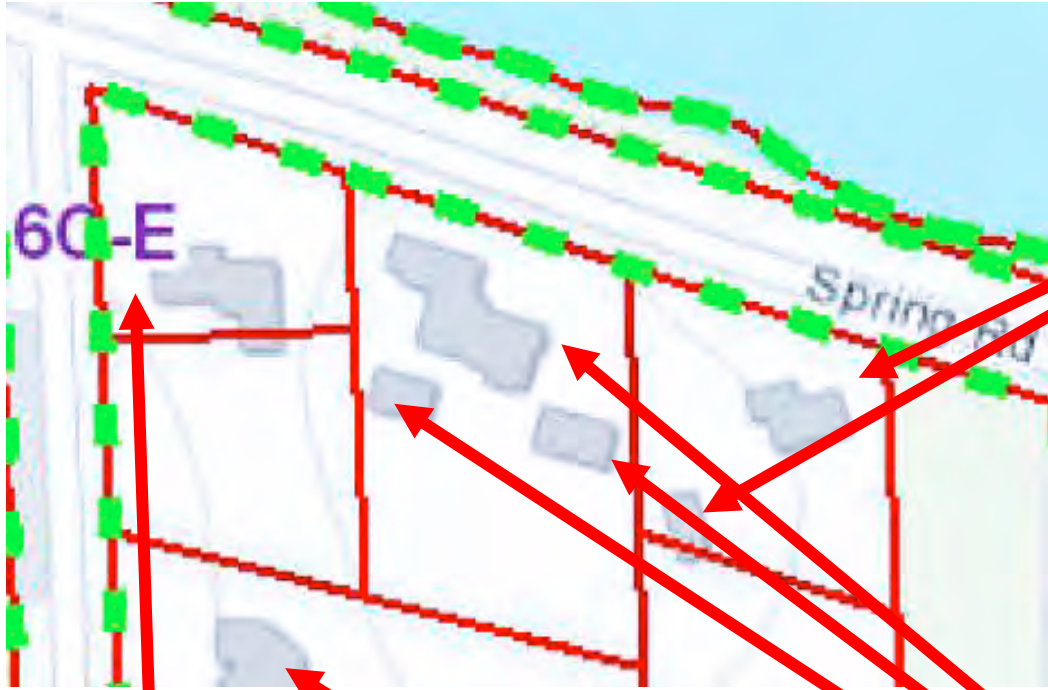
15' setback from York Road
50' rear setback to Spring

9' setback to commercial parking



4' south setback to commercial parking
10' rear setback

25' east setback to commercial
30' north setback

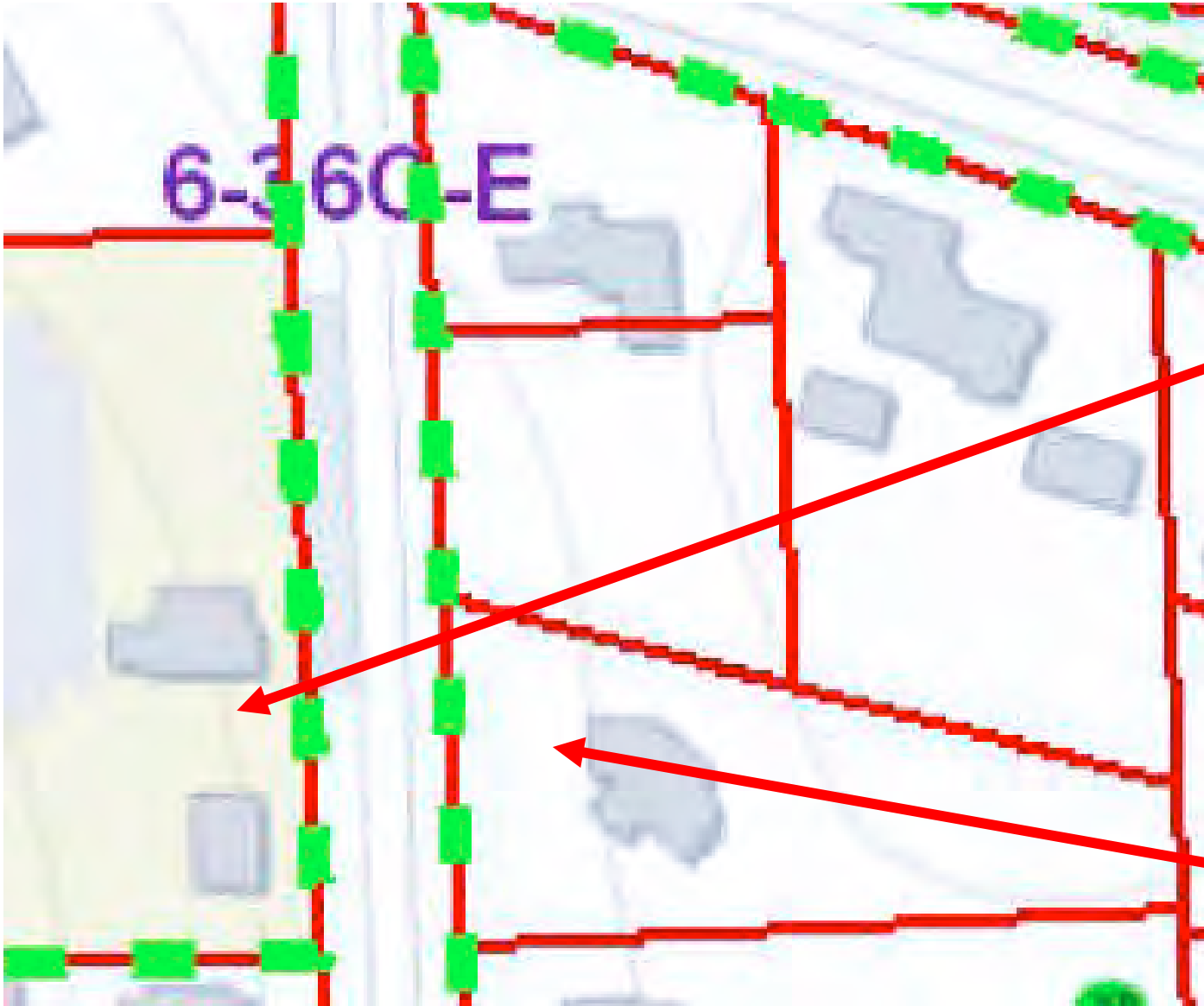


33' front setback
14' west accessory setback

33' west setback

28' north setback

23' front setback
5' west accessory setback
10' east accessory setback



6-360-E

15' front setback
Negative setback to
street parking
20' accessory setback

58' front setback

28' front setback (not Gateway)

20' street setbacks (not Gateway)



46' front setback

35' front setback

16' south, 4' north setback

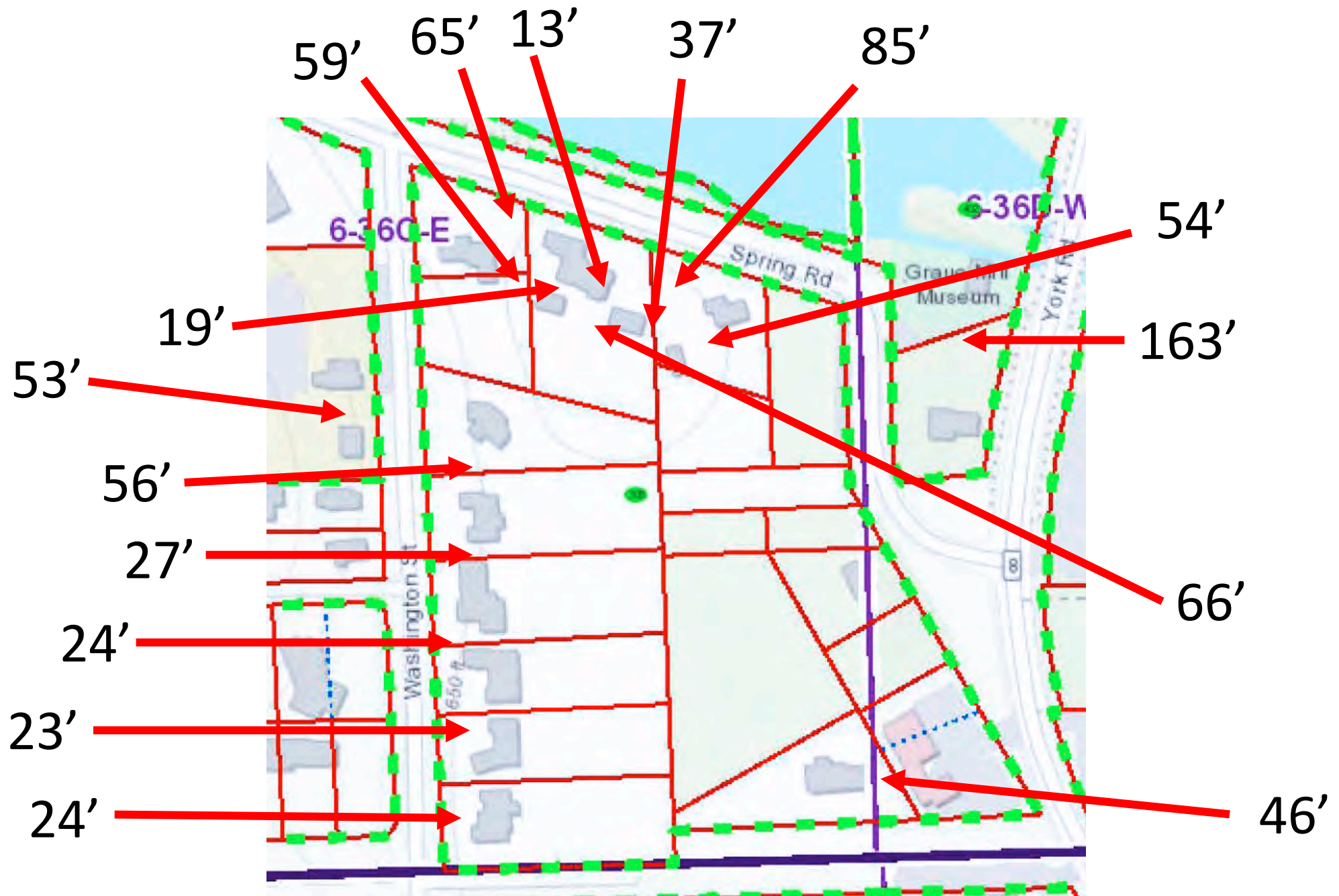
40' front setback

15' south, 8' north

41' front setback

13' south, 8' north setback

40' front setback



12.5' side to lot line
52' likely spacing

47' front setback

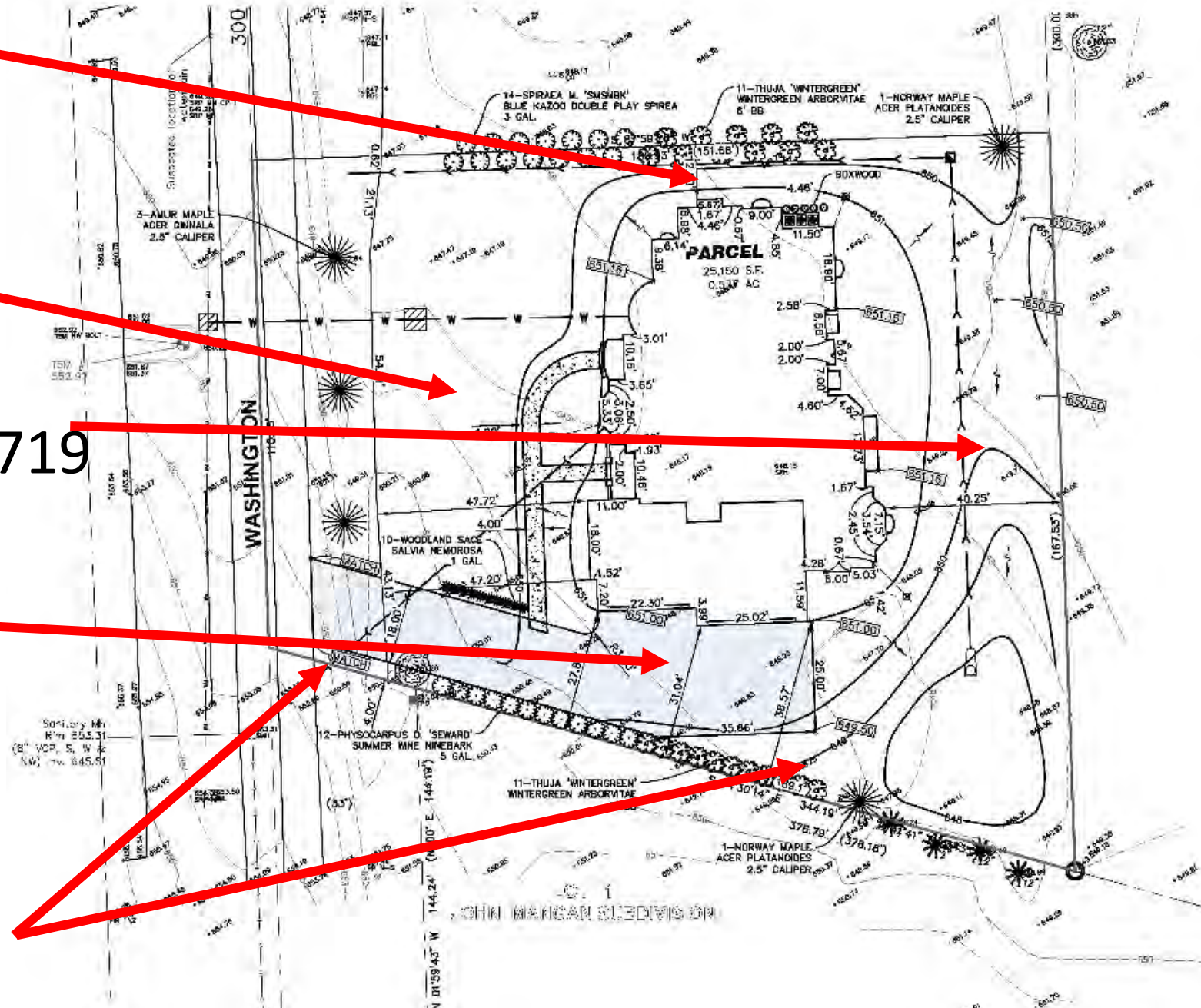
40' rear setback

79' likely spacing to 3719

28' side to lot line

63' likely spacing to 3801

4'-15' pavement to lot line



GENERAL NOTES

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COMPLY WITH ALL 2015 EGC CODES AS THEY PERTAIN TO THIS PROJECT - INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PROVISIONS AS NOTED. SEALING THE BUILDING ENVELOPE FOR AIR LEAKAGE AND INSULATION REQUIREMENTS NOT OTHERWISE NOTED WITH THESE DRAWINGS. SEE ENERGY COMPLIANCE NOTES THIS SHEET - CONTRACTORS TO CONSULT WITH MEA IF THERE ARE SPECIFIC QUESTIONS REGARDING COMPLIANCE.

ALL INTERIOR WALLS ARE TO RECEIVE (2) TWO COATS OF LATEX PAINT (PLAT), OWNER SELECTS COLOR. (1) ONE COAT OF PRIMER. ALL EXTERIOR FINISHES ARE LABELED AS PER ELEVATIONS.

ALL LINEN CLOSETS TO HAVE (3) SHELVES.

ALL CLOSETS TO HAVE (1) SHELF AND (1) ROD UNO.

ALL DOORS SHALL BE 6'-8" HIGH MIN UNO.

ALL INTERIOR DOORS SHALL BE 1-3/4" THICK.

ALL EXTERIOR DOORS SHALL BE 1-3/4" THICK.

FIRESTOP ALL PLUMBING WALLS, KITCHEN AND BATHROOM SOFFITS AND WALLS OVER 4'-0".

ALL WALLS OVER 12'-0" TALL TO BE FRAMED IN 2x6" UNO.

PROVIDE MIN 6" HEAD HT CLEARANCE AT ALL STAIRS.

PREPLACE REINETS TO BE 20" MIN. WIDTH FROM FACE OF PREPLACE AND EXTEND 12" MIN ON EACH SIDE.

FLASH AND KEEPS IN 12" O.C. MAX. OVER ALL EXTERIOR DOORS, WINDOWS, ETC.

PROVIDE ICE & WATER SHIELD AT ALL VALLEYS AND EAVES - EXTEND MEMBRANE 12" 24" BEYOND INSIDE FACE OF WALL - UNO. SEE EAVE SECTIONS.

PROVIDE "DURCOK" IN ALL BATHS, SHOWER ENCLOSURES AND ALL AREAS SUBJECT TO DIRECT MOISTURE. GREEN BOARD DRYWALL IS NOT ACCEPTABLE IN THESE AREAS.

GENERAL NOTES

EMERGENCY EGRESS OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE. THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" AFF. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20" EXCEPTION: GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE FEET.

WINDOWS NEAR TRIPLES/STAIRS, IN STAIRWELLS ADJACENT TO ANY DOOR INCLUDING FRONT DOOR SIDELIGHTS & FRENCH DOORS AND ANY WHICH THE BOTTOM EDGE OF GLAZING IS LESS THAN 18" AFF. SHALL HAVE TEMPERED SAFETY GLAZING.

PROVIDE PERMANENTLY FIXED LADDER & REMOVABLE PROTECTIVE COVER AT BELOW GRADE BASEMENT WINDOWS UNO. SEE PLANS.

FIRE STOP INTERSECTIONS OF SPANS.

EXPOSED ACCESSIBLE SPACE UNDER STAIRS MUST HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SPACE OTHER BOARD TYPED & SAVED.

PRE-FAB MASONRY FIREPLACES & ALL GAS FIRE TURNS 1/4" MIN TO BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY AND/OR MAKE-UP AIR PER MFR SPECS AND THE IRC.

ALL WOOD BEAMS, JOISTS, STUDS AND OTHER COMBUSTIBLE MATERIALS SHALL HAVE A MINIMUM CLEARANCE OF 2" FROM THE FIRE-RATED MASONRY. PROVIDE NON-COMBUSTIBLE FLOORING BETWEEN AIR SPACE AND FRAMING AT ALL FLOOR/CEILING JOINTS. FASTENED: SEE IRC 602.10.10.6.

CONCRETE NOTES

ALL FOOTINGS, FOUNDATION WALLS, PORCHES, CARPORT GLASS AND STEPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS SHALL BE CAST-IN-PLACE UNO. ALL CONCRETE TO BE (4) BAG MIN AND SHALL BE 3000 PSI STRENGTH AT 28 DAYS. ALL FOOTINGS DESIGNED FOR SOIL BEARING OF 3000 PSF. IF SOIL BEARING LESS THAN 3000 PSF OR QUESTIONABLE SOIL CONDITIONS ARE PRESENT THEN MEA TO BE IMMEDIATELY NOTIFIED BEFORE COMMENCING WITH ANY WORK.

FOOTING SHALL BEAR ON UNDISTURBED SOLID SOIL. REBAR/ROD OF 6" MIN DIMENSIONS. MIN 3'-0" DEPTH BELOW GRADE.

UNLESS NOTED OTHERWISE TOP AND BOTTOM OF WALLS SHALL HAVE (2) #5 REBAR WITH A 25" LAP. ANY CONC WALL EXCEEDING 8'-0" HT. SHALL ALSO HAVE (2) #5 REBAR AT MIDPOINT OF WALL WITH A 25" LAP - VERTICAL REBAR SIZE & PLACED PER WALL SECTIONS OR AS REQUIRED PER RC 904.11. (3) ALL REBAR LAPPING AND CORNERS TO CONFORM WITH CRSI/ACI STANDARDS OF PRACTICE AS THEY APPLY.

UNLESS NOTED OTHERWISE ALL FOOTINGS SHALL HAVE (2) #5 REBAR CONT. WITH A 25" LAP.

ALL FILL SHALL BE GRAVEL. ALL FILL SHALL BE MACHINE TAMPED. REFER TO PLANS FOR SIZES, DEPTHS AND REINFORCEMENT OF WALLS, FOOTINGS, ETC. ALL WORK SHALL BE DONE ACCORDING TO LOCAL CODES AND ORDINANCES.

PROVIDE CONTINUOUS 6 MIL POLY-FILM VAPOR BARRIER ON LEVELLED GRAVEL BASE. LAP EDGES OF VAPOR BARRIER MIN 6" AND TURN UP AT THE WALLS. TYP. FOR GARAGE & BASEMENT SLABS.

CONCRETE NOTES

ALL CONCRETE POURED IN FREEZING WEATHER SHALL BE PROTECTED SO AS TO MAINTAIN CONCRETE TEMPERATURES OF BETWEEN 40 AND 50 DEGREES FOR A MINIMUM OF 3 DAYS UNDER NO CIRCUMSTANCES SHALL THE CONCRETE BE ALLOWED TO FREEZE. SALT OR WEATHER CHEMICALS SHALL NOT BE MIXED WITH THE CONCRETE FOR ANY REASON.

BASEMENT FLOOR TO BE REINFORCED IN 6" X 8" X 10" R/W. RFT.

THE CONTRACTOR SHALL INSTALL, INSERT, AND LOCATE ANY AND ALL DEVICES REQUIRED FOR THE ATTACHMENT/INSTALLATION OF OTHER WORK BY OTHER TRADES (ELECTRICAL, ETC.).

PERIMETER FOUNDATION INSULATION IS REQUIRED ON BOTH BASEMENTS AND CRAWL SPACES PER 2015 EGC - SEE PLANS AND DETAILS. RIGID FOAM BOARD INSULATION CAN BE USED AT THE EXTERIOR OR INTERIOR OF THE WALLS. IF INSTALLED ON THE INTERIOR WALLS MUST BE COVERED WITH GYP/PLASTER BOARD. FRANKER FACED FIBERGLASS BATTS ARE ACCEPTABLE ON THE INTERIOR WALLS PROVIDED THE PROJECT IS APPROVED FOR THAT SPECIFIC INSTALLATION. IF LEFT EXPOSED AND UNCOVERED, KRAFT FACED BATTS CAN BE USED IF COVERED W/STYRENE BOARD SEE FOUNDATION PLAN FOR ADDITIONAL NOTES AND REQUIREMENTS!

THE FLOOR FRAMING SHALL BE IN PLACE OR FOUNDATION WALL BRACING WILL BE IN PLACE PRIOR TO ANY BACK FILLING OF FOUNDATION.

MANUFACTURED & STEEL MEMBERS

ANY PREFABRICATED LAMINATED-VENEER LUMBER HEADERS OR OTHER MANUFACTURED WOODEN FRAMING SHALL BE AS MANUFACTURED BY LEVEL "TRUS-JOIST" CORP. OR SO. IN SIZES AND QUANTITIES SHOWN ON THE PLANS. F2-2600 2x14 MEMBERS CONSTRUCTED OF GLEED LAMINATED (SGL/LAM) LUMBER SHALL BE DOUGLAS FIR. SIZES SHOWN ON PLANS F2-2650 2x16.

STEEL WIDE FLANGE (WF) BEAMS AS SIZED ON PLANS ASTM A992 - 50 STEEL ANGLES CHANNELS, PLATES AS SIZED ON PLANS ASTM A36 STEEL PIPE COLUMNS AS SIZED ON PLANS ASTM A500 - 10/20/40

FLOOR JOIST DEFLECTION DESIGN CRITERIA - LIVE LOAD L480 TOTAL LOAD L260

BEAM DEFLECTION DESIGN CRITERIA - FLOOR LIVE LOAD L480 TOTAL LOAD L240 ROOF LIVE LOAD L240 TOTAL LOAD L260

STUDS AND MISCELLANEOUS MEMBERS SHALL BE S4S DOUGLAS FIR, SOUTHERN PINE, HEM FIR OR APPROVED EQUAL OR NOMINAL SIZES SHOWN. MAXIMUM MOISTURE CONTENT 16% AT TIME OF GRADING.

ALL MANUFACTURED MEMBER MANUFACTURERS SPECIFICATIONS AND GUIDELINES ARE TO BE ADHERED TO INCLUDING BUT NOT LIMITED TO HOLES & NOTCHES, BLOCKING & BRACING AND DETAILS REGARDING LAMINATING MEMBERS TOGETHER (NAILING / BOLTING SPECS) IN ADDITION TO ALL OTHER SPECIFIC FRAMING REQS AND DETAILS PER THE MFR.

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PROVIDE CONTINUOUS 6 MIL POLY-FILM VAPOR BARRIER ON LEVELLED GRAVEL BASE. LAP EDGES OF VAPOR BARRIER MIN 6" AND TURN UP AT THE WALLS. TYP. FOR GARAGE & BASEMENT SLABS.

ELECTRICAL NOTES

COMPLY WITH ALL 2015 EGC CODES AS THEY PERTAIN TO THIS PROJECT - CONTRACTORS TO CONSULT WITH MEA IF THERE ARE SPECIFIC QUESTIONS REGARDING COMPLIANCE.

COMPLY WITH ADOPTED EDITION OF THE NEC AND ALL LOCAL CODES AND ORDINANCES.

COPPER WIRE ONLY.

STYLE FINISHES, ETC OF ALL FIXTURES AND DEVICES SHALL BE AS SELECTED BY OWNERS AND SHALL BEAR A UL LABEL. ALL LIGHT FIXTURES TO BE INSTALLED IN CONTACT WITH INSULATION MUST BE I.T.G. RATED.

ALL CEILING FANS REQUIRE A FAN RATED CEILING BOX.

ALL ELECTRICAL MUST BE CONDUIT.

INSTALL CONDUIT CHASE FOR INSTALLATION OF REMOTE READER FOR WATER SERVICE.

SEAL ALL ELECTRICAL PENETRATIONS.

LINTEL NOTES

FOR ALL OPENINGS IN MASONRY WALLS OVER 12" WIDE WHERE OTHER STRUCTURAL BEAMS OR LINTELS ARE NOT SPECIFICALLY SHOWN, PROVIDE STEEL ANGLE LINTELS.

FOR OPENINGS WHOSE SPAN IS GREATER THAN 10" AND LESS THAN 5'-0" PROVIDE ONE 3/12" X 3'-1/2" X 3/16" STEEL ANGLE FOR EACH 4" THICKNESS OF MASONRY. PROVIDE 6" OF END BEARING.

FOR OPENINGS WHOSE SPAN IS GREATER THAN 5'-0" AND LESS THAN 8'-0" PROVIDE ON 6"x12" X 3/16" STEEL ANGLE FOR EACH 4" THICKNESS OF MASONRY. PROVIDE 6" OF END BEARING.

SITE NOTES

MAINTAIN MIN 4" DEPTH BELONGRADE FOR ALL CONCRETE FOOTINGS - UNO.

CONTRACTOR TO CONSULT SITE ENGINEERING FOR ALL EXISTING AND PROPOSED SITE CONDITIONS AND GRADING PRIOR TO COMMENCING WITH ANY WORK.

CONTRACTOR TO CONSULT SITE ENGINEERING FOR ALL PROPOSED FDN DROPS AND LEDGES WHERE 1 WHEN APPLICABLE PRIOR TO COMMENCING WITH ANY WORK.

DESIGN LOADS

ROOF LIVE LOAD 30# P.S.F.

ROOF DEAD LOAD 10# P.S.F.

HORIZONTAL WIND LOAD 30-4#

BALCONIES & DECKS (EXTERIOR) GUARDRAILS / HANDRAILS 200# P.S.F. LAT.

LOAD GUARDRAIL (IN-FILL COMPONENTS) 50# P.S.F. HORIZ.

GARAGES 100# P.S.F.

ATTIC (COMB) 25# P.S.F.

FLOOR LIVE LOADS (ALL) 40# P.S.F.

FLOOR DEAD LOADS 10# P.S.F.

WITH HARDWOOD TILE OR SLATE IN DRYWALL CEILING 20# P.S.F.

STAIRS 100# P.S.F.

PARTITION WALLS (HORIZ) 05# P.S.F.

GROUND SNOW LOAD 30# P.S.F.

PLUMBING NOTES

COMPLY WITH ALL 2015 EGC CODES AS THEY PERTAIN TO THIS PROJECT - CONTRACTORS TO CONSULT WITH MEA IF THERE ARE SPECIFIC QUESTIONS REGARDING COMPLIANCE.

COMPLY WITH ALL LOCAL CODES AND ORDINANCES.

TUB AND SHOWER VALVES MUST BE ANTI-SCALD TYPE.

USE ONLY WATER SAVING SILENT FLUSH TOILETS ALL FLOOR DRAINING TO BE VENTED.

COPPER SUPPLY - P.V.C WASTE AND VENT 4 MUST USE PURPLE PRIMER.

PROVIDE SHUT-OFFS AT ALL APPLIANCE LOCATIONS.

PROTECT WATER PIPING AT BASE OF WALLS WITH WALL GUARDS.

2'-0" AIR CHAMBERS ARE TO BE INSTALLED AT THE TOP OF ALL MAIN RISERS.

ALL PIPING TO BE PROPERLY SUSPENDED AND BRACED.

ALL FIXTURES ARE TO BE CONTROLLED INDIVIDUALLY WITH ANGLE STOPS OR VALVES.

INCREASES MUST BE USED AT ROOF LINE AT LEAST 1" LARGER THAN RISER.

OVERHEAD PLUMBING REQUIRED.

MECHANICAL NOTES

COMPLY WITH ALL 2015 EGC CODES AS THEY PERTAIN TO THIS PROJECT - CONTRACTORS TO CONSULT WITH MEA IF THERE ARE SPECIFIC QUESTIONS REGARDING COMPLIANCE.

PROVIDE PROGRAMMABLE THERMOSTAT.

ALL DUCTS TO BE SEALED.

SUPPLY AND RETURN DUCTS IN ATTIC & CRAWLSPACE TO BE INSULATED TO R-8 MINIMUM.

EXHAUST FANS SHALL BE N-TONE DOWNSPEED SPEED CONTROLS, ROOF JACKS, BIRD SCREENS AND BACKDRAFT DAMPERS. INSTALL AT LOCATIONS INDICATED ON PLAN.

VENT ALL EXHAUST FANS & CLOTHES DRYER TO EXTERIOR.

PROVIDE COMBUSTION AIR TO ALL FURNACES, HOT WATER HEATERS AND BOILERS.

HOT & COLD AIR RETURN SUPPLY TO BE DUCTED SHEET METAL - FRAMING FLEXMAG/ATTIC ARE NOT TO BE USED FOR AIR DISTRIBUTION.

ELEVATION NOTES:

1. CHIMNEY TO BE A MINIMUM 2'-0" HIGHER THAN THE NEAREST ROOF WITHIN 10'-0" (IF APPLICABLE).

2. PROVIDE ROOF VENTILATION FOR 1/50TH OF THE CEILING AREA PLUS SOFFIT VENTILATION AS REQUIRED - COMPLY WITH SECTION 906 CHAPTER 8 OF THE I.R.C. SEE ROOF PLAN.

3. NON INSTALLATION INSTRUCTIONS MUST BE ON SITE AT THE TIME OF INSPECTION.

4. ALL WINDOWS LOCATED IN BATHROOMS NEAR ANY TUBS OR IN A STAIRWELL ARE TO HAVE TEMPERED SAFETY GLAZING. SEE SAFETY GLAZING NOTE FOR FURTHER INFORMATION.

5. ALL BASEMENT WINDOWS ARE TO BE ESCAPE TYPE WINDOWS WHERE INDICATED ON PLAN AT 44" AFF. MAX. - UNO. PROVIDE PROTECTIVE COVERS OVER WELLS GREATER THAN 44" IN DEPTH SHALL PROVIDE A MIN NET CLEAR AREA OF 4.50 SQ. FT. 1. HAVE A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION - RANGES 12" MIN AT 3' FROM THE WALL - SPACED NO MORE THAN 18" O.C. VERT. FOR FULL HT OF WELL COMPLY WITH SECT. 903/CHAP 9 OF THE IRC.

6. CONSULT SITE ENGINEERING FOR ALL FPN LEDGES & DROPS AND THEIR LOCATIONS AS WELL AS ALL RELATED GRADING INFORMATION BOTH PROPOSED & EXISTING MAINTAIN 42" MIN. FOOTING DEPTH BELOW GRADE - WHERE APPLICABLE.

7. PROVIDE ICE & WATER SHIELD AT ALL VALLEYS AT ALL EAVES (EXTEND 24" MIN) BEYOND THE EXTERIOR WALL LINE OF THE BUILDING) AND ALL ROOF SURFACES LOWER THAN 4'-0" CONTINUOUS WOOD STRUCTURAL PANEL EXT. SHEATHING TO BE APA RATED SHGTS. EXP. 1 OR 2 - 1/2" THICK THROUGHOUT - NO INSULATED NON-STRUCTURAL SHEATHING NO ARCHITECTS APPROVAL. ALL DECK LUMBER TO BE NAILMANICATED OR EXTERIOR GRADE QUALITY LUMBER - IF APPLICABLE ANY FASTENERS IN CONTACT W/ PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED. STAINLESS SILICON BRONZE OR EQUAL CORROSION RESISTANCE.

8. WINDOW SIZES DENOTED ARE BASIC GLAZING SIZES & NOT CLEAR OPENING SIZES - G.G. TO PROVIDE MINIMUM CLEAR OPENING (SEE GENERAL NOTES FOR ADDITIONAL INFORMATION) PER IRC 903.6 TO COORDINATE & REVIEW FINAL WINDOW MFR SELECTIONS, SIZES AND SPECIFICATIONS TO VERIFY COMPLIANCE WITH 2'-0" MINIMUM HEIGHT OF WINDOW OPENINGS TO F.F. SURFACE AT OPERABLE WINDOW OPENINGS & 8'-0" ABOVE GRADE AS OUTLINE IN IRC 903.2.

FOUNDATION NOTE:

CONCRETE FOUNDATION AND FOOTINGS HAVE BEEN DESIGNED FOR 3000# PSF SOIL BEARING CAPACITY - CONTRACTOR RESPONSIBLE FOR HIRING A LICENSED SOILS ENGINEER TO PROVIDE SOILS REPORT VERIFYING & CERTIFYING EXISTING SOIL CONDITIONS TO THE BUILDING DEPT. - IF SOIL CONDITIONS ARE DETERMINED TO BE OF A CAPACITY LESS THAN 3000# PSF THEN ARCHITECT MUST BE NOTIFIED SO THAT FOUNDATION SYSTEM CAN BE DESIGNED FOR THIS CONDITION AND RESUBMITTED TO THE CITY.

CODE CLASSIFICATIONS

2015 International Residential Code W/Amendments

2015 International Building Code W/Amendments

2015 International Mechanical Code W/Amendments

2015 International Energy Conservation Code W/Amendments

2014 National Electric Code W/Amendments

2014 Illinois State Plumbing Code W/Amendments

Local Codes and Amendments

TO PROVIDE COMPLIANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE, THIS PROJECT WILL BE CONSTRUCTED USING THE PRESCRIPTIVE METHOD INDICATED IN THE INTERNATIONAL ENERGY CONSERVATION CODE.

INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT PER TABLE 402.1 - INTERNATIONAL ENERGY CONSERVATION CODE.

CLIMATE ZONE	VENTILATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED VENTILATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 & 6 WARMER 4	0.22	0.05	NR	4#1	20 OR 8-5	8/11	30	8/11	0-2%	8/11

*R-30 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP FLATE AT THE EAVES (SECTION 402.2.1 EGC). VALUED ROOF/CEILING ASSEMBLIES NO ATTIC ABOVE) WHERE NON-SUFFICIENT SPACE FOR THE REQUIRED R-4#1 INSULATION EXISTS, THE MINIMUM CAN BE REDUCED TO R-30 HOWEVER SHALL BE LIMITED TO 500 S.F. OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS (SEE SECTION 402.2.2 EGC).

ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT.

CLIMATE ZONE	VENTILATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED VENTILATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 & 6 WARMER 4	ACTUAL U-0.032 MAX	NA	NR	4#1	21	8	30	2 (BATT)	NA	NA

*R-30 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP FLATE AT THE EAVES (SECTION 402.2.1 EGC). VALUED ROOF/CEILING ASSEMBLIES NO ATTIC ABOVE) WHERE NON-SUFFICIENT SPACE FOR THE REQUIRED R-4#1 INSULATION EXISTS, THE MINIMUM CAN BE REDUCED TO R-30 HOWEVER SHALL BE LIMITED TO 500 S.F. OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS (SEE SECTION 402.2.2 EGC).

- ATTIC ACCESS PANELS MUST BE INSULATED TO MATCH ATTIC CEILING AND WALL INSULATION VALUE AND MUST BE REATHERSTRIPED AT PERIMETER.
- THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION OF THE SEALING MEMBRANE BETWEEN DUCTS AND MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CALLED: GASKETED WEATHERSTRIP OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, STAPLED FLUSH OR SOLID MATERIAL.
 - ALL JOINTS SEALS AND PENETRATIONS.
 - SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
 - OPENINGS BETWEEN ROOMS AND ASSEMBLIES AND THEIR RESPECTIVE JAMBES AND FRAMING.
 - DUCT PENETRATIONS.
 - EXPOSED CEILING OR GAGES ADJACENT TO THE THERMAL ENVELOPE.
 - ICE WALLS.
 - WALLS AND CEILING GAGES OR GARAGE FROM CONDITIONED SPACES.
 - BONDING TIES AND SHOWN ON EXTERIOR WALLS.
 - COMMON WALLS BETWEEN BUILDINGS UNITS.
 - ATTIC ACCESS OPENINGS.
 - R/W JOINT UNION.
 - OTHER SOURCES OF INFILTRATION.
- WOOD BURNING FIREPLACES SHALL HAVE TIGHT FITTING FLEE DAMPERS AND OUTDOOR COMBUSTION AIR PROVIDED.
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS LIMITED TO NO MORE THAN 0.3 CFM PER SQUARE FOOT AIR LEAKAGE SPINNING DOORS LIMITED TO NO MORE THAN 0.3 CFM PER SQUARE FOOT.
- RESEATED LIGHT FIXTURES INSTALLED IN BUILDING THERMAL ENVELOPE SHALL BE:
 - IC-RATED AND LABELED SUITABLE FOR INSULATION CONTACT.
 - SEALED WITH A GASKET OR CALK BETWEEN THE FIXTURE HOUSING AND CEILING.
- IN AN UNCONDITIONED SPACE SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3" NICHES IN DIAMETER OR GREATER, AND R-4 WHERE LESS THAN 3" NICHES IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-4 WHERE 3" NICHES IN DIAMETER OR GREATER AND R-4.2 WHERE LESS THAN 3" NICHES.
- ALL DUCTS, AIR HANDLERS, FILTER BOXES, ETC. SHALL BE SEALED AT ALL JOINTS AND SEAMS. DUCT TAPE OR ANY OTHER INSULATED TAPE IS NOT PERMITTED.
- BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY OR RETURN DUCTS OR FLEXMAGS.
- MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES OR BELOW 55 DEGREES FARENHEIT SHALL BE DURABLY SEALED TO LIMIT INFILTRATION OF THE SEALING MEMBRANE BETWEEN DUCTS AND MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CALLED: GASKETED WEATHERSTRIP OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, STAPLED FLUSH OR SOLID MATERIAL.
 - ALL JOINTS SEALS AND PENETRATIONS.
 - SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
 - OPENINGS BETWEEN ROOMS AND ASSEMBLIES AND THEIR RESPECTIVE JAMBES AND FRAMING.
 - DUCT PENETRATIONS.
 - EXPOSED CEILING OR GAGES ADJACENT TO THE THERMAL ENVELOPE.
 - ICE WALLS.
 - WALLS AND CEILING GAGES OR GARAGE FROM CONDITIONED SPACES.
 - BONDING TIES AND SHOWN ON EXTERIOR WALLS.
 - COMMON WALLS BETWEEN BUILDINGS UNITS.
 - ATTIC ACCESS OPENINGS.
 - R/W JOINT UNION.
 - OTHER SOURCES OF INFILTRATION.
- OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE.
 - A MINIMUM OF 78% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENCY LAMPS.
- A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE FREQUENTLY HEATING & INSULATION INSTALLED IN OR ON CEILING ROOF WALLS FOUNDATION WALLS BASEMENT WALL, CRAWLSPACE WALL AND/OR FLOOR AND DUCTS OUTSIDE CONDITIONED SPACES. U-FACTORS FOR PENETRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF PENETRATION. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING COOLING AND SERVICE WATER HEATING EQUIPMENT. SEE EGC SECTION 403.3 FOR ADDITIONAL.
- UNLESS DUCTS & AIR HANDLERS ARE LOCATED COMPLETELY WITHIN THE CONDITIONED THERMAL ENVELOPE THE DUCT SYSTEM SHALL HAVE A DUCT TIGHTNESS TEST. DUCT LEAKAGE TESTS SHALL BE PERFORMED AND WRITTEN REPORT SUBMITTED TO THE BUILDING DEPT. DETAILING MINIMUM COMPLIANCE WITH EGC SECTION 403.3. TEST CAN BE PERFORMED AT ROUGH-IN OR POST-CONSTRUCTION.
- HEATING & COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUAL 'S' AND BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL 'J' - PROVIDE REPORT AND EQUIPMENT OUTSHEETS TO BUILDING DEPARTMENT AS REQUIRED FOR COMPLIANCE.
- BUILDING THERMAL ENVELOPE TO BE TESTED AND AIR LEAKAGE RATE VERIFIED IN COMPLIANCE WITH EGC SECTION 403.3 BY A BLOWER DOOR TEST OR OTHER APPROVED METHOD AND REPORT SUBMITTED TO THE BUILDING DEPT. DETAILING MINIMUM COMPLIANCE.
- WIND-LOOSE MECHANICAL VENTILATION TO BE INSTALLED PER STATE OF ILLINOIS AMENDMENT TO THE EGC.
- ALL HOT WATER PIPING SHALL BE INSULATED WITH A MINIMUM OF R-8 PER SECTION 403.3.3
- COMPONENTS OF THE BUILDING THERMAL ENVELOPE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE 402.1.1 OF THE EGC.

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITES	WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ.	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
25	80S SEAS WIND 80E	B	SEVERE	42"	MODERATE	-10°F	YES	REFER TO LOCAL ORDINANCES	4659	48.1°F

UNIFIED SOIL CLASSIFICATION STATEMENT DESIGN FOR PROJECT - GROUP II - 64SP (3000# PSF ASSUMED FOR DESIGN INTENT) CONTRACTOR TO SUBMIT CERTIFIED SOILS REPORT CONFIRMING SOIL CAPACITY CAPABLE OF 3000# PSF OR HIGHER - SEE NOTE THIS SHEET.



FRONT ELEVATION

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GENERAL NOTES

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COMPLY WITH ALL 2015 EGC CODES AS THEY PERTAIN TO THIS PROJECT - INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PROVISIONS AS NOTED, SEALING THE BUILDING ENVELOPE FOR AIR LEAKAGE AND INSULATION REQUIREMENTS NOT OTHERWISE NOTED WITHIN THESE DRAWINGS. SEE BIDDING COMPLIANCE NOTES THIS SHEET - CONTRACTORS TO CONSULT WITH MEA IF THERE ARE SPECIFIC QUESTIONS REGARDING COMPLIANCE.

ALL INTERIOR WALLS ARE TO RECEIVE (2) TWO COATS OF LATEX PAINT (PLAT), OVER SELECTS COLOR-(1) ONE COAT OF PRIMER. ALL EXTERIOR FINISHES ARE LABELED AS PER ELEVATIONS.

ALL LINEN CLOSETS TO HAVE (3) SHELVES.

ALL CLOSETS TO HAVE (1) SHELF AND (1) ROD UNO.

ALL DOORS SHALL BE 6'-8" HIGH MIN UNO.

ALL INTERIOR DOORS SHALL BE 1-3/4" THICK.

ALL EXTERIOR DOORS SHALL BE 1-3/4" THICK.

FIRESTOP ALL PLUMBING WALLS, KITCHEN AND BATHROOM SOFFITS AND WALLS OVER 4'-0".

ALL WALLS OVER 12'-0" TALL TO BE FRAMED IN 2"x6" UNO.

PROVIDE MIN 6" HEAD HT CLEARANCE AT ALL STAIRS.

PREPLACE REINETS TO BE 20" MIN. WIDTH FROM FACE OF PREPLACE AND EXTEND 12" MIN. ON EACH SIDE.

FLASH AND KEEP 8" O.C. MAX. OVER ALL EXTERIOR DOORS, WINDOWS, ETC.

PROVIDE ICE & WATER SHIELD AT ALL VALLEYS AND EAVES - EXTEND MEMBRANE 18" 24" BEYOND INSIDE FACE OF WALL - UNO. SEE EAVE SECTIONS.

PROVIDE "DURLOCK" IN ALL BATHS, SHOWER ENCLOSURES AND ALL AREAS SUBJECT TO DIRECT MOISTURE. GREEN BOARD DRYWALL IS NOT ACCEPTABLE IN THESE AREAS.

GENERAL NOTES

EMERGENCY ESCAPE OPENINGS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE. THEY SHALL HAVE A STILL HEIGHT OF NOT MORE THAN 44" AFF. ALL ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20" EXCEPTION: GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE FEET.

WINDOWS NEAR TRIPLES/SHOWERS, IN STARWELLS ADJACENT TO ANY DOOR INCLUDING FRONT DOOR SIDELIGHTS & FRENCH DOORS AND ANY WHICH THE BOTTOM EDGE OF GLAZING IS LESS THAN 18" AFF. SHALL HAVE TEMPERED SAFETY GLAZING.

PROVIDE PERMANENTLY FIXED LADDER & REMOVABLE PROTECTIVE COVER AT BELOW GRADE BASEMENT WINDOWS UNO. SEE PLANS.

FIRE STOP UNDERSTEPS OF STAIRS.

EXPOSED ACCESSIBLE SPACE UNDER STAIRS MUST HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SPACE OTHER THAN TYPED & SAVED.

PRE-FAB MASONRY FIREPLACES AND ALL GAS FIRE TUBS 1/8" TO BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY AND/OR MAKE-UP AIR PER MFR SPECS AND THE IRC.

ALL WOOD BEAMS, JOISTS, STUDS AND OTHER COMBUSTIBLE MATERIALS SHALL HAVE A MINIMUM CLEARANCE OF 2" FROM THE OTHER COMBUSTIBLE MASONRY. PROVIDE NON-COMBUSTIBLE FIREBLOCKING BETWEEN AIR SPACE AND FRAMING AT ALL FLOOR/CEILING/SECURELY FASTENED. SEE IRC 602.10.10.6.

CONCRETE NOTES

ALL FOOTINGS, FOUNDATION WALLS, FORMERS, CURBWORK AND STEPS EXPOSED TO THE WEATHER AND GRADE FLOOR SLABS SHALL BE CAST-IN-PLACE UNO. ALL CONCRETE TO BE (4) BAG MIN AND SHALL BE 3000 PSI STRENGTH AT 28 DAYS. ALL FOOTINGS DESIGNED FOR SOIL BEARING OF 3000 PSF. IF SOIL BEARING LESS THAN 3000 PSF OR QUESTIONABLE SOIL CONDITIONS ARE PRESENT THEN MEA TO BE IMMEDIATELY NOTIFIED BEFORE COMMENCING WITH ANY WORK.

FOOTING SHALL BEAR ON UNDISTURBED SOLID SOIL. REBAR/RODS OF GIVEN DIMENSIONS. MIN 3" 4" DEPTH BELOW GRADE.

UNLESS NOTED OTHERWISE TOP AND BOTTOM OF WALLS SHALL HAVE (2) #5 REBAR WITH A 25" LAP. ANY CONC WALL EXCEEDING 8'-0" HT. SHALL ALSO HAVE (2) #5 REBAR AT MIDPOINT OF WALL WITH A 25" LAP - VERTICAL REBAR SIZE & PLACED PER WALL SECTIONS OR AS REQUIRED PER RC 904.11 (5). ALL REBAR LAPPING AND CORNERS TO CONFORM WITH CURRENT STANDARDS OF PRACTICE AS THEY APPLY.

UNLESS NOTED OTHERWISE ALL FOOTINGS SHALL HAVE (2) #5 REBAR CONT. WITH A 25" LAP.

ALL MANUFACTURED MEMBER MANUFACTURERS SPECIFICATIONS AND GUIDELINES ARE TO BE ADHERED TO INCLUDING BUT NOT LIMITED TO HOLES & NOTICES, BLOCKING & BRACING AND DETAILS REGARDING LAMINATING MEMBERS TOGETHER (WULFING / BOLTING SPECS) IN ADDITION TO ALL OTHER SPECIFIC FRAMING REQS AND DETAILS PER THE MFR.

ALL FILL SHALL BE GRAVEL. ALL FILL SHALL BE MACHINE TAMPED. REFER TO PLANS FOR SIZES, DEPTHS AND REINFORCEMENT OF WALLS, FOOTINGS, ETC. ALL WORK SHALL BE DONE ACCORDING TO LOCAL CODES AND ORDINANCES.

PROVIDE CONTINUOUS 6 MIL POLY-FILM VAPOR BARRIER ON LEVELLED GRAVEL BASE. LAP EDGES OF VAPOR BARRIER MIN 6" AND TURN UP AT THE WALLS. TYP. FOR GARAGE & BASEMENT SLABS.

CONCRETE NOTES

ALL CONCRETE FORMED IN WEATHER SHALL BE PROTECTED SO AS TO MAINTAIN CONCRETE TEMPERATURES OF BETWEEN 40 AND 50 DEGREES FOR A MINIMUM OF 3 DAYS UNDER NO CIRCUMSTANCES SHALL THE CONCRETE BE ALLOWED TO FREEZE. SALT OR WEATHER CHEMICALS SHALL NOT BE MIXED WITH THE CONCRETE FOR ANY REASON.

BASEMENT FLOOR TO BE REINFORCED IN 6"x8" R/O R/F.

THE CONTRACTOR SHALL INSTALL, INSERT, AND LOCATE ANY AND ALL DEVICES (REQUIRED FOR THE ATTACHMENT/INSTALLATION OF OTHER WORK BY OTHER TRADES (ELECTRICAL, ETC.).

PERIMETER FOUNDATION INSULATION IS REQ'D ON BOTH BASEMENTS AND CRAWL SPACES PER 2015 EGC - SEE PLANS AND DETAILS. RIGID FOAM BOARD INSULATION CAN BE USED AT THE EXTERIOR OR INTERIOR OF THE WALLS. IF INSTALLED ON THE INTERIOR WALLS MUST BE COVERED WITH OPTIMAL BOARD. FIBER FIBER FIBERGLASS BATTS ARE ACCEPTABLE ON THE INTERIOR WALLS PROVIDED THE PROJECT IS APPROVED FOR THAT SPECIFIC INSTALLATION. IF LEFT EXPOSED AND UNCOVERED, KRAFT FACED BATTS CAN BE USED IF COVERED W/STYRENE BOARD SEE FOUNDATION PLAN FOR ADDITIONAL NOTES AND REQUIREMENTS!

THE FLOOR FRAMING SHALL BE IN PLACE OR FOUNDATION WALL BRACING WILL BE IN PLACE PRIOR TO ANY BACK FILLING OF FOUNDATION.

MANUFACTURED & STEEL MEMBERS

ANY PREFABRICATED LAMINATED-VENEER LUMBER HEADERS OR OTHER MANUFACTURED WOODEN FRAMING SHALL BE AS MANUFACTURED BY LEVEL "TRUS-JOIST" CORP. OR SO. IN SIZES AND QUANTITIES SHOWN ON THE PLANS. PER 2600.20.14. MEMBERS CONSTRUCTED OF GLEED-LAMINATED (GLU-LAM) LUMBER SHALL BE DOUGLAS FIR. SIZES SHOWN ON PLANS. PER 2650.10.10.

STEEL WIDE FLANGE (WF) BEAMS AS SIZED ON PLANS ASTM A992 - 50 STEEL ANGLES CHANNELS PLATES AS SIZED ON PLANS ASTM A36 STEEL PIPE COLUMNS AS SIZED ON PLANS ASTM A500 - 100SCHEDULE 40

FLOOR JOIST DEFLECTION DESIGN CRITERIA - LIVE LOAD L480 TOTAL LOAD L260 BEAM DEFLECTION DESIGN CRITERIA - FLOOR LIVE LOAD L260 TOTAL LOAD L240 ROOF & CEILING LIVE LOAD L240 TOTAL LOAD L260

STUDS AND MISCELLANEOUS MEMBERS SHALL BE S4S DOUGLAS FIR, SOUTHERN PINE, HEM FIR OR APPROVED EQUAL OR NOMINAL SIZES SHOWN. MAXIMUM MOISTURE CONTENT 16% AT TIME OF DRYING.

ALL MANUFACTURED MEMBER MANUFACTURERS SPECIFICATIONS AND GUIDELINES ARE TO BE ADHERED TO INCLUDING BUT NOT LIMITED TO HOLES & NOTICES, BLOCKING & BRACING AND DETAILS REGARDING LAMINATING MEMBERS TOGETHER (WULFING / BOLTING SPECS) IN ADDITION TO ALL OTHER SPECIFIC FRAMING REQS AND DETAILS PER THE MFR.

ALL FILL SHALL BE GRAVEL. ALL FILL SHALL BE MACHINE TAMPED. REFER TO PLANS FOR SIZES, DEPTHS AND REINFORCEMENT OF WALLS, FOOTINGS, ETC. ALL WORK SHALL BE DONE ACCORDING TO LOCAL CODES AND ORDINANCES.

PROVIDE CONTINUOUS 6 MIL POLY-FILM VAPOR BARRIER ON LEVELLED GRAVEL BASE. LAP EDGES OF VAPOR BARRIER MIN 6" AND TURN UP AT THE WALLS. TYP. FOR GARAGE & BASEMENT SLABS.

ELECTRICAL NOTES

COMPLY WITH ALL 2015 EGC CODES AS THEY PERTAIN TO THIS PROJECT - CONTRACTORS TO CONSULT WITH MEA IF THERE ARE SPECIFIC QUESTIONS REGARDING COMPLIANCE.

COMPLY WITH ADOPTED EDITION OF THE NEC AND ALL LOCAL CODES AND ORDINANCES.

COPPER WIRE ONLY.

STYLE FINISHES, ETC. OF ALL FIXTURES AND DEVICES SHALL BE AS SELECTED BY OWNERS AND SHALL BEAR A UL LABEL. ALL LIGHT FIXTURES TO BE INSTALLED IN CONTACT WITH INSULATION MUST BE I.T.G. RATED.

ALL CEILING FANS REQUIRE A FAN RATED CEILING BOX.

ALL ELECTRICAL MUST BE CONDUIT.

INSTALL CONDUIT CHASE FOR INSTALLATION OF REMOTE READER FOR WATER SERVICE.

SEAL ALL ELECTRICAL PENETRATIONS.

LINTEL NOTES

FOR ALL OPENINGS IN MASONRY WALLS OVER 12" WIDE WHERE OTHER STRUCTURAL BEAMS OR LINTELS ARE NOT SPECIFICALLY SHOWN. PROVIDE STEEL ANGLE LINTELS.

FOR OPENINGS WHOSE SPAN IS GREATER THAN 10" AND LESS THAN 5'-0" PROVIDE ONE 3/16" X 1/2" X 3/16" STEEL ANGLE FOR EACH 4" THICKNESS OF MASONRY. PROVIDE 6" OF END BEARING.

FOR OPENINGS WHOSE SPAN IS GREATER THAN 5'-0" AND LESS THAN 8'-0" PROVIDE ON 6"x12" X 3/16" STEEL ANGLE FOR EACH 4" THICKNESS OF MASONRY. PROVIDE 6" OF END BEARING.

SITE NOTES

CONTRACTOR TO CONSULT SITE ENGINEERING FOR ALL EXISTING AND PROPOSED SITE CONDITIONS AND GRADING PRIOR TO COMMENCING WITH ANY WORK.

CONTRACTOR TO CONSULT SITE ENGINEERING FOR ALL PROPOSED FDN DROPS AND LEDGES WHERE 1 WHEN APPLICABLE PRIOR TO COMMENCING WITH ANY WORK.

DESIGN LOADS

ROOF LIVE LOAD	50# P.S.F.
ROOF DEAD LOAD	10# P.S.F.
HORIZONTAL WIND LOAD	30'-4#
BALCONIES & DECKS (EXTERIOR) GUARDRAILS / HANDRAILS	200# P.S.F. LAT.
LOAD GUARDRAIL (IN-FILL COMPONENTS)	50# P.S.F. HORIZ.
GARAGES	100# P.S.F.
ATTIC (COVE)	25# P.S.F.
FLOOR LIVE LOADS (ALL)	40# P.S.F.
FLOOR DEAD LOADS	10# P.S.F.
FLOOR DEAD LOADS WITH HARDWOOD TILE OR SLATE W/ DRYWALL CEILING	20# P.S.F.
STAIRS	100# P.S.F.
PARTITION WALLS (HORIZ)	05# P.S.F.
GROUND SNOW LOAD	05# P.S.F.

PLUMBING NOTES

COMPLY WITH ALL 2015 EGC CODES AS THEY PERTAIN TO THIS PROJECT - CONTRACTORS TO CONSULT WITH MEA IF THERE ARE SPECIFIC QUESTIONS REGARDING COMPLIANCE.

COMPLY WITH ALL LOCAL CODES AND ORDINANCES.

TUB AND SHOWER VALVES MUST BE ANTI-SCALD TYPE.

USE ONLY WATER SAVING SILENT FLUSH TOILETS ALL FLOOR DRAINING TO BE VENTED.

COPPER SUPPLY - P-V-G WASTE AND VENT 1 MUST USE PURPLE PRIMER.

PROVIDE SHUT-OFFS AT ALL APPLIANCE LOCATIONS.

PROTECT WATER PIPING AT BASE OF WALLS WITH WALL GUARDS.

2'-0" AIR CHAMBERS ARE TO BE INSTALLED AT THE TOP OF ALL MAIN RISERS.

ALL PIPING TO BE PROPERLY SUSPENDED AND BRACED.

ALL FIXTURES ARE TO BE CONTROLLED INDIVIDUALLY WITH ANGLE STOPS OR VALVES.

INCREASES MUST BE USED AT ROOF LINE AT LEAST 1" LARGER THAN RISER.

MECHANICAL NOTES

COMPLY WITH ALL 2015 EGC CODES AS THEY PERTAIN TO THIS PROJECT - CONTRACTORS TO CONSULT WITH MEA IF THERE ARE SPECIFIC QUESTIONS REGARDING COMPLIANCE.

PROVIDE PROGRAMMABLE THERMOSTAT.

ALL DUCTS TO BE SEALED.

SUPPLY AND RETURN DUCTS IN ATTIC & CRAWLSPACE TO BE INSULATED TO R-8 MINIMUM.

EXHAUST FANS SHALL BE N-TONE DOWNSPEED SPEED CONTROLS, ROOF JACKS, BIRD SCREENS AND BACKDRAFT DAMPERS. INSTALL AT LOCATIONS INDICATED ON PLAN.

VENT ALL EXHAUST FANS & CLOTHES DRYER TO EXTERIOR.

PROVIDE COMBUSTION AIR TO ALL FURNACES, HOT WATER HEATERS AND FIREPLACES.

HOT & COLD AIR RETURN SUPPLY TO BE DUCTED SHEET METAL - FRAMING FLENGAS/GATES ARE NOT TO BE USED FOR AIR DISTRIBUTION.

ELEVATION NOTES:

- CHIMNEY TO BE A MINIMUM 2'-0" HIGHER THAN THE NEAREST ROOF WITHIN 10'-0" (IF APPLICABLE)
- PROVIDE ROOF VENTILATION FOR 1/50TH OF THE CEILING AREA PLUS SOFFIT VENTILATION AS REQUIRED - COMPLY WITH SECTION 906 CHAPTER 8 OF THE I.R.C. SEE ROOF PLAN.
- NON INSTALLATION INSTRUCTIONS MUST BE ON SITE AT THE TIME OF INSPECTION.
- ALL WINDOWS LOCATED IN BATHROOMS NEAR ANY TUBS OR IN A STARWELL ARE TO HAVE TEMPERED SAFETY GLAZING. SEE SAFETY GLAZING NOTE FOR FURTHER INFORMATION.
- ALL BASEMENT WINDOWS ARE TO BE ESCAPE TYPE WINDOWS WHERE INDICATED ON PLAN AT 44" AFF. MAX. - UNO. PROVIDE PROTECTIVE COVERS OVER WELLS GREATER THAN 44" IN DEPTH SHALL PROVIDE A MIN. NET CLEAR AREA OF 4.50 SQ. FT. 1. HAVE A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WDM IN THE FULLY OPEN POSITION - RANGES 12" MIN. AT 3' FROM THE WALL - SPACED NO MORE THAN 18" O.C. VERT. FOR FULL HT. OF WELL COMPLY WITH SECT. 903/CHAP. 9 OF THE I.R.C.
- CONSULT SITE ENGINEERING FOR ALL FDN LEDGES & DROPS AND THEIR LOCATIONS AS WELL AS ALL RELATED GRADING INFORMATION BOTH PROPOSED & EXISTING MAINTAIN 42" MIN. FOOTING DEPTH BELOW GRADE - WHERE APPLICABLE.
- PROVIDE ICE & WATER SHIELD AT ALL VALLEYS AT ALL EAVES (EXTEND 24" MIN) BEYOND THE EXTERIOR WALL LINE OF THE BUILDING) AND ALL ROOF SURFACES LOWER THAN 4'-2" CONTINUOUS WOOD STRUCTURAL PANEL ENT SHEATING TO BE APA RATED SHG. EXP. 1 OR 2 - 1/2" THICK THROUGHOUT - NO INSULATED NON-STRUCTURAL SHEATHING NO ARCHITECTS APPROVAL. ALL DECK LUMBER TO BE NULMINATED OR EXTERIOR GRADE QUALITY LUMBER - IF APPLICABLE ANY FASTENERS IN CONTACT W/ PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED STAINLESS SILICON BRONZE OR EQUAL CORROSION RESISTANCE.
- WINDOW SIZES DENOTED ARE BASIC GLAZING SIZES & NOT CLEAR OPENING SIZES - G.G. TO PROVIDE MINIMUM MFR CATALOG SPECIFICATION (CUT SHEETS) VERIFYING COMPLIANCE W/ MINIMUM EGRESS REQUIREMENTS FOR ALL SLEEPING ROOMS ARE TO HAVE ONE COMPLIANT EGRESS WINDOW WITH A MINIMUM NET OPENING OF 5.7 SQUARE FEET MIN. SET AT 44" AFF. MAX TO WDM SILL OPENING (SEE GENERAL NOTES FOR ADDITIONAL INFORMATION) PER IRC R310.6.6 TO COORDINATE & REVIEW FINAL WINDOW MFR SELECTIONS, SIZES AND SPECIFICATIONS TO VERIFY COMPLIANCE WITH 2'-0" MINIMUM HEIGHT OF WDM SILL OPENING TO F.F. SURFACE AT OPERABLE WINDOW OPENINGS & 8'-0" ABOVE GRADE AS OUTLINE IN IRC R612.2.

FOUNDATION NOTE:
 CONCRETE FOUNDATION AND FOOTINGS HAVE BEEN DESIGNED FOR 3000# PSF SOIL BEARING CAPACITY - CONTRACTOR RESPONSIBLE FOR HIRING A LICENSED SOILS ENGINEER TO PROVIDE SOILS REPORT VERIFYING & CERTIFYING EXISTING SOIL CONDITIONS TO THE BUILDING DEPT. - IF SOIL CONDITIONS ARE DETERMINED TO BE OF A CAPACITY LESS THAN 3000# PSF THEN ARCHITECT MUST BE NOTIFIED SO THAT FOUNDATION SYSTEM CAN BE DESIGNED FOR THIS CONDITION AND RESUBMITTED TO THE CITY.

CODE CLASSIFICATIONS

2015 International Residential Code W/Amendments
2015 International Building Code W/Amendments
2015 International Mechanical Code W/Amendments
2015 International Energy Conservation Code W/Amendments
2014 National Electric Code W/Amendments
2014 Illinois State Plumbing Code W/Amendments

Local Codes and Amendments

TO PROVIDE COMPLIANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE, THIS PROJECT WILL BE CONSTRUCTED USING THE PRESCRIPTIVE METHOD INDICATED IN THE INTERNATIONAL ENERGY CONSERVATION CODE.

INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT PER TABLE 402.1 - INTERNATIONAL ENERGY CONSERVATION CODE.										
CLIMATE ZONE	VENTILATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED PENETRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 & 6 WARMER	0.22	0.05	NR	4#	20 OR B-5	B-11	30	5/1"	0'-2"	5/1"

*R-30 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP FLATE AT THE EAVES (SECTION 402.2.1) EGC.

VALUED ROOF/CEILING ASSEMBLIES NO ATTIC ABOVE) WHERE NON-SUFFICIENT SPACE FOR THE REQUIRED R-4# INSULATION EXISTS, THE MINIMUM CAN BE REDUCED TO R-30 HOWEVER SHALL BE LIMITED TO 500 S.F. OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS (SEE SECTION R402.2.2) EGC.

ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT:										
CLIMATE ZONE	VENTILATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED PENETRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 & 6 WARMER	ACTUAL UNO (0.22) MAX	NA	NR	4#	2	2	30	2 (BATT)	NA	NA

*R-30 IS ACCEPTABLE WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP FLATE AT THE EAVES (SECTION 402.2.1) EGC.

VALUED ROOF/CEILING ASSEMBLIES NO ATTIC ABOVE) WHERE NON-SUFFICIENT SPACE FOR THE REQUIRED R-4# INSULATION EXISTS, THE MINIMUM CAN BE REDUCED TO R-30 HOWEVER SHALL BE LIMITED TO 500 S.F. OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS (SEE SECTION R402.2.2) EGC.

- ATTIC ACCESS PANELS MUST BE INSULATED TO MATCH ATTIC CEILING OR WALL INSULATION VALUE AND MUST BE REATHERSTRIPED AT PERIMETER.
- THE BUILDING THERMAL ENVELOPE SHALL BE DURELY SEALED TO LIMIT INFILTRATION OF THE SEALING MEMBRANE BETWEEN DISCREET MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CALLED: GASKETED WEATHERSTRIP OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL. STAPLED FILM OR SOLID MATERIAL.
 - A. ALL JOINTS SEAMS AND PENETRATIONS.
 - B. SITE-BUILT WINDOW DOORS AND SKYLIGHTS.
 - C. OPENINGS BETWEEN WOODS AND ASSEMBLIES AND THEIR RESPECTIVE JAMES AND FRAMING.
 - D. DUCT PENETRATIONS.
 - E. EXTERIOR CEILING OR GAGES ADJACENT TO THE THERMAL ENVELOPE.
 - F. KNEE WALLS.
 - G. WALLS AND CEILING GAGES ADJACENT TO A GARAGE FROM CONDITIONED SPACES.
 - H. BONDING TIES AND SHIMMERS ON EXTERIOR WALLS.
 - I. CORNER WALLS BETWEEN CEILING UNITS.
 - J. ATTIC ACCESS OPENINGS.
 - K. RM. JOINT UNION.
 - L. OTHER SOURCES OF INFILTRATION.
- WOOD BURNING FIREPLACES SHALL HAVE TIGHT FITTING FLE DAMPERS AND OUTDOOR COMBUSTION AIR PROVIDED.
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS LIMITED TO NO MORE THAN 0.3 CFM PER SQUARE FOOT AIR LEAKAGE. SPRINGING DOORS LIMITED TO NO MORE THAN 0.3 CFM PER SQUARE FOOT.
- RECESSED LIGHT FIXTURES INSTALLED IN BUILDING THERMAL ENVELOPE SHALL BE:
 - A. IC-RATED AND LABELED SUITABLE FOR INSULATION CONTACT.
 - B. SEALED WITH A GASKET OR CALK BETWEEN THE FIXTURE HOUSING AND CEILING.
- IN AN UNCONDITIONED SPACE SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3" NICHES IN DIAMETER OR GREATER, AND R-6 WHERE LESS THAN 3" NICHES IN DIAMETER. SUPPLY AND RETURN DUCTS OUTSIDE PERIMETER OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-4 WHERE 3" NICHES IN DIAMETER OR GREATER AND R-4.2 WHERE LESS THAN 3" NICHES.
- ALL DUCTS, AIR HANDLERS, FILTER BOXES, ETC. SHALL BE SEALED AT ALL JOINTS AND SEAMS. DUCT TAPE OR ANY OTHER INSULATED TAPE IS NOT PERMITTED.
- BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY OR RETURN DUCTS OR FLENGAS.
- MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLOWS ABOVE 105 DEGREES OR BELOW 55 DEGREES FARENHEIT SHALL BE DURELY SEALED TO LIMIT INFILTRATION OF THE SEALING MEMBRANE BETWEEN DISCREET MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CALLED: GASKETED WEATHERSTRIP OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL. STAPLED FILM OR SOLID MATERIAL.
 - A. ALL JOINTS SEAMS AND PENETRATIONS.
 - B. SITE-BUILT WINDOW DOORS AND SKYLIGHTS.
 - C. OPENINGS BETWEEN WOODS AND ASSEMBLIES AND THEIR RESPECTIVE JAMES AND FRAMING.
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 - H. BONDING TIES AND SHIMMERS ON EXTERIOR WALLS.
 - I. CORNER WALLS BETWEEN CEILING UNITS.
 - J. ATTIC ACCESS OPENINGS.
 - K. RM. JOINT UNION.
 - L. OTHER SOURCES OF INFILTRATION.
- OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE. - SEE ECG SECTION R403.
- A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENCY LAMPS.
- A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE PREVIOUSLY R-VALUES OF INSULATION INSTALLED IN OR ON CEILING, WALLS, FOUNDATION, FLOOR, BASEMENT WALL, CRAWLSPACE WALL AND/OR FLOOR AND CEILING. THE CERTIFICATE SHALL LIST THE PREVIOUSLY LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT. SEE ECG SECTION 403.3 FOR ADDITIONAL.
- UNLESS DUCTS & AIR HANDLERS ARE LOCATED COMPLETELY WITHIN THE CONDITIONED THERMAL ENVELOPE THE DUCT SYSTEM SHALL HAVE A DUCT TIGHTNESS TEST (DUCT LEAKAGE) BE PERFORMED AND WRITTEN REPORT SUBMITTED TO THE BUILDING DEPT. DETAILING MINIMUM COMPLIANCE WITH ECG SECTION R403.3. TEST CAN BE PERFORMED AT ROUGH-IN OR POST-CONSTRUCTION.
- HEATING & COOLING EQUIPMENT TO BE SIZED IN ACCORDANCE WITH ACCA MANUAL 'S' AND BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL '1'. PROVIDE REPORT AND EQUIPMENT OUTSHEETS TO BUILDING DEPARTMENT AS REQUIRED FOR COMPLIANCE.
- BUILDING THERMAL ENVELOPE TO BE TESTED AND AIR LEAKAGE RATE VERIFIED IN COMPLIANCE WITH ECG SECTION 403.3. TEST CAN BE PERFORMED AT ROUGH-IN OR POST-CONSTRUCTION.
- WHOLE HOUSE MECHANICAL VENTILATION TO BE INSTALLED PER STATE OF ILLINOIS AMENDMENT TO THE EGC.
- ALL HOT WATER PIPING SHALL BE INSULATED WITH A MINIMUM OF R-8 PER SECTION 405.3.3.
- COMPONENTS OF THE BUILDING THERMAL ENVELOPE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE 402.1(1) OF THE EGC.

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ.	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
25	85# SEC WIND GUST	B	SEVERE	42"	MODERATE	-10°F	YES	REFER TO LOCAL ORDINANCES	665	48.1°F

UNIFIED SOIL CLASSIFICATION STATEMENT DESIGN FOR PROJECT - GROUP II - 6#SP (3000# PSF ASSUMED FOR DESIGN INTENT) CONTRACTOR TO SUBMIT CERTIFIED SOILS REPORT CONFIRMING SOIL CAPACITY CAPABLE OF 3000# PSF OR HIGHER. SEE NOTE THIS SHEET.



FRONT ELEVATION

SCALE: 1/4"=1'-0"

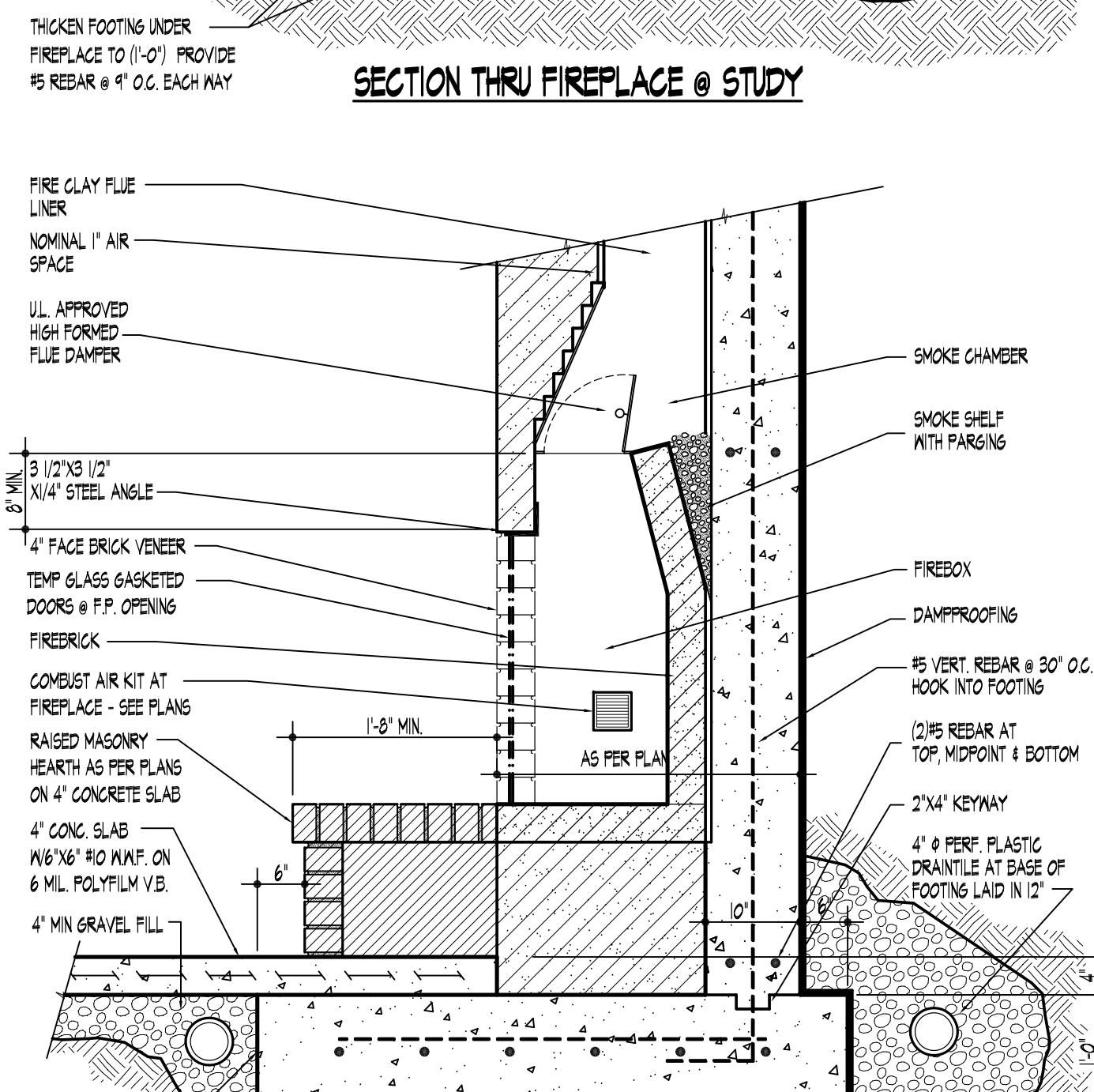
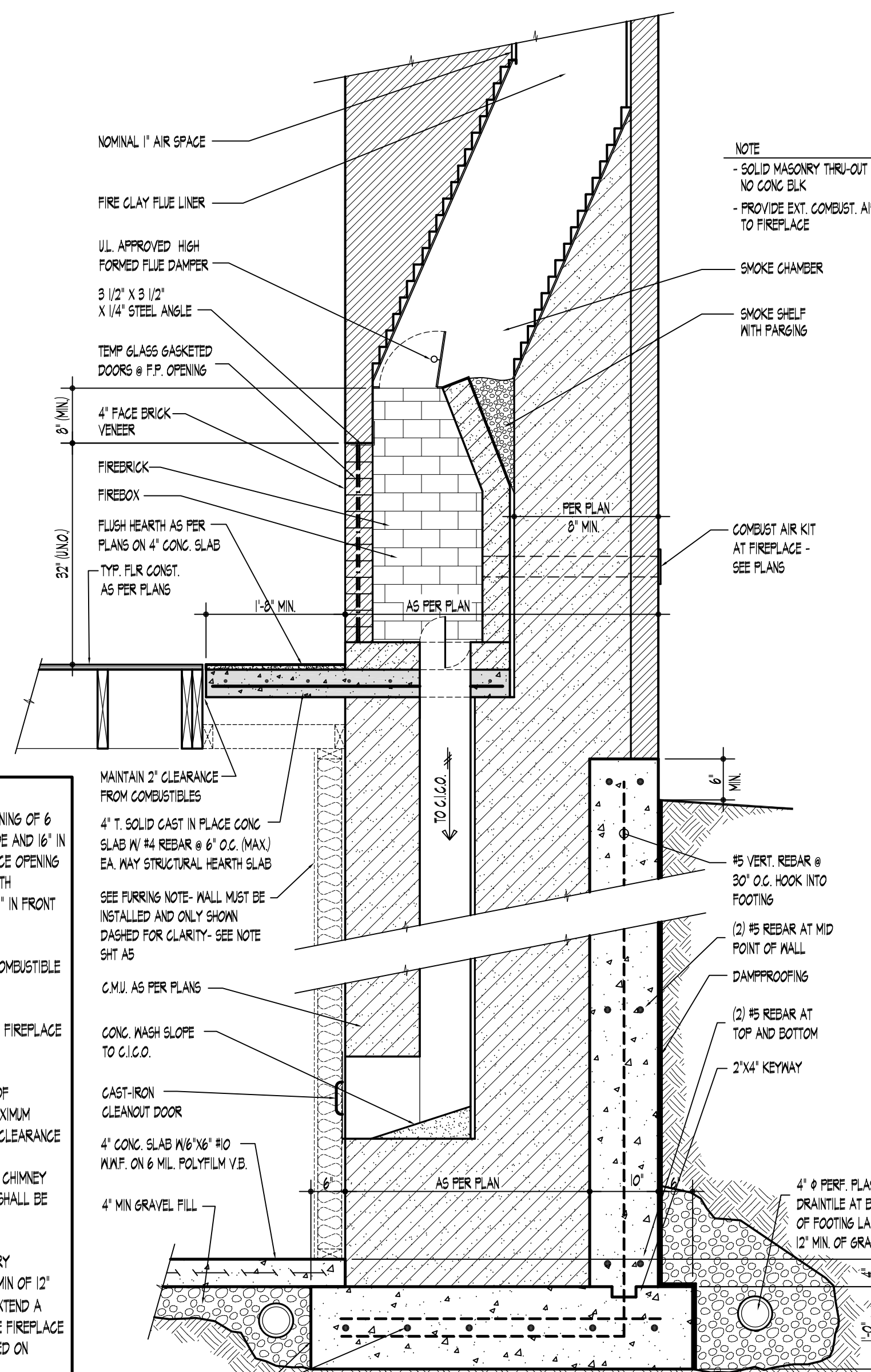
FLASHING NOTE:
 ALL FLASHING TO BE THE FOLLOWING:
 EXPOSED - COPPER
 HIDDEN - GALVANIZED METAL

I, MICHAEL P. BUSS HEREBY CERTIFY THAT THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE CODES AND ORDINANCES OF OAK BROOK, ILLINOIS.
 Michael P. Buss #001-014036 Exp. 11.30.2020
 Michael Buss Architects, Ltd. #184-002724 Exp. 04.30.2019
 IF THE ABOVE SEAL IS NOT REDUCED (OR RE-TESTED), THESE PLANS ARE VOID FOR PURPOSE.

SEI BUILDERS, INC.
 3715 SPRING ROAD, LOT 2
 OAK BROOK, IL

Project Number: 16024
 Designed by: MPB
 Drawn by: MPB
 Checked by: MPB
 Scale: AS NOTED

Revisions	No.	Date	Description
	01	6/26/16	



SECTION THRU FIREPLACE @ STUDY

SECTION THRU FIREPLACE @ BASEMENT

FIREPLACE NOTES:
 MIN HEARTH EXTENSION: FIREPLACE OPENING OF 6 SQUARE FEET OR LESS - 8" ON EACH SIDE AND 16" IN FRONT OF FIREPLACE OPENING. FIREPLACE OPENING OF 6 SQUARE FEET OR GREATER - HEARTH EXTENSION OF 12" ON EACH SIDE AND 20" IN FRONT OF FIREPLACE OPENING.

FIREPLACE LINTEL IS TO BE OF A NON-COMBUSTIBLE MATERIAL.

NO COMBUSTIBLE MATERIAL WITHIN 6" OF FIREPLACE OPENING.

COMBUSTIBLE MATERIAL LESS THAN 12" OF FIREPLACE OPENING IS LIMITED TO A MAXIMUM PROJECTION OF 1/8" FOR EACH INCH OF CLEARANCE.

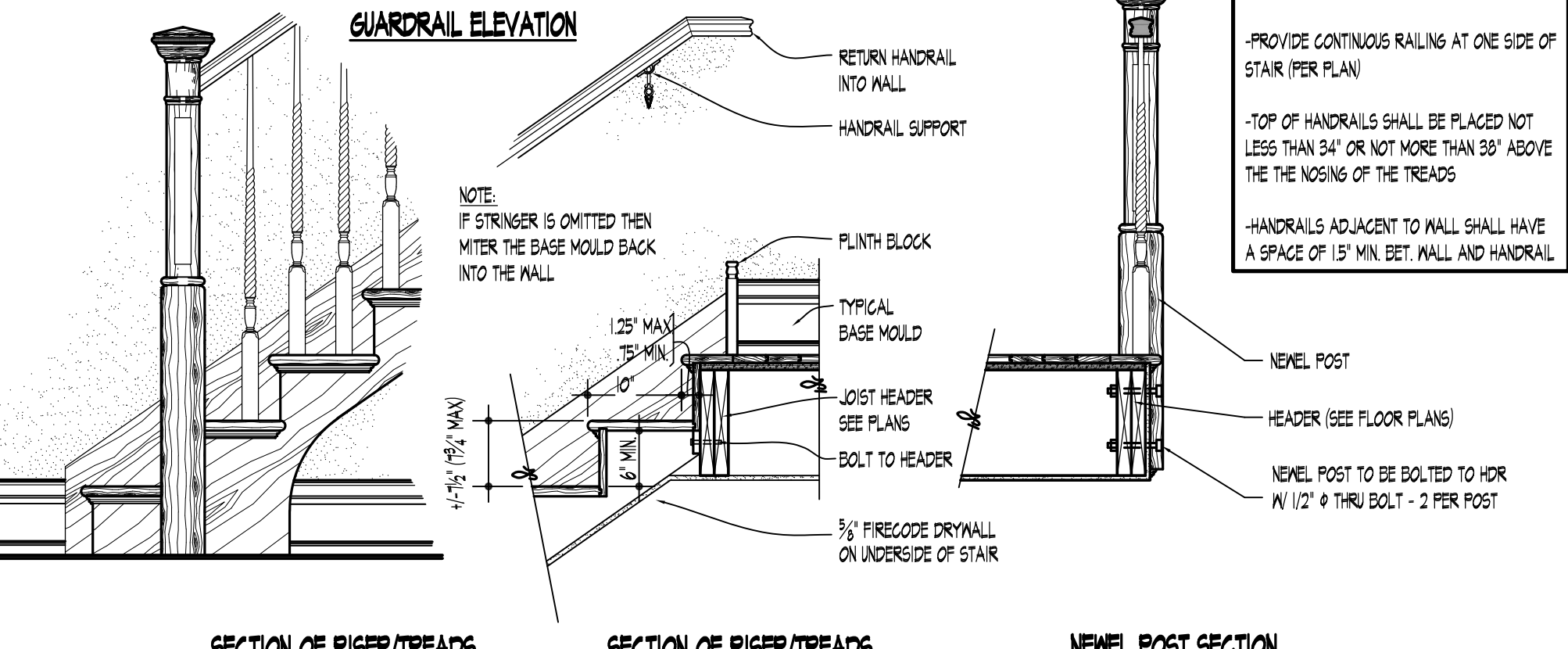
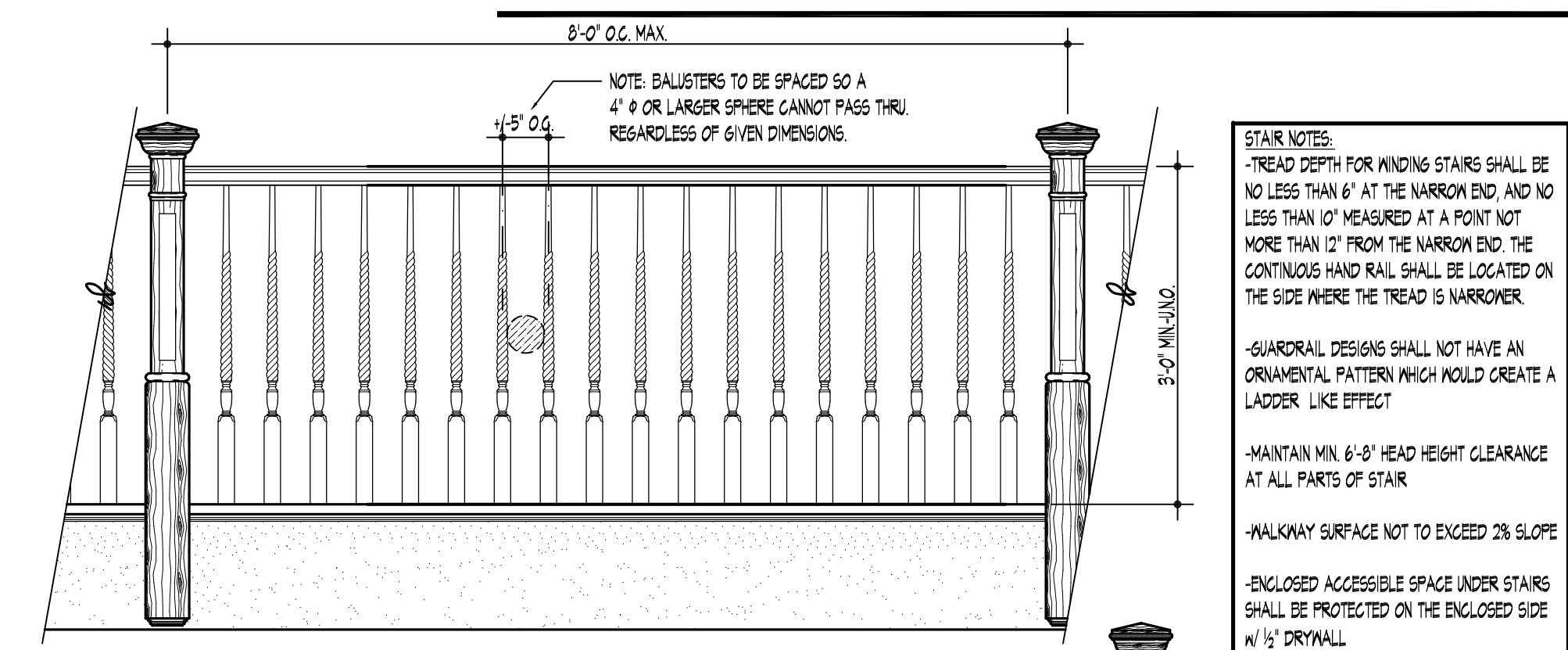
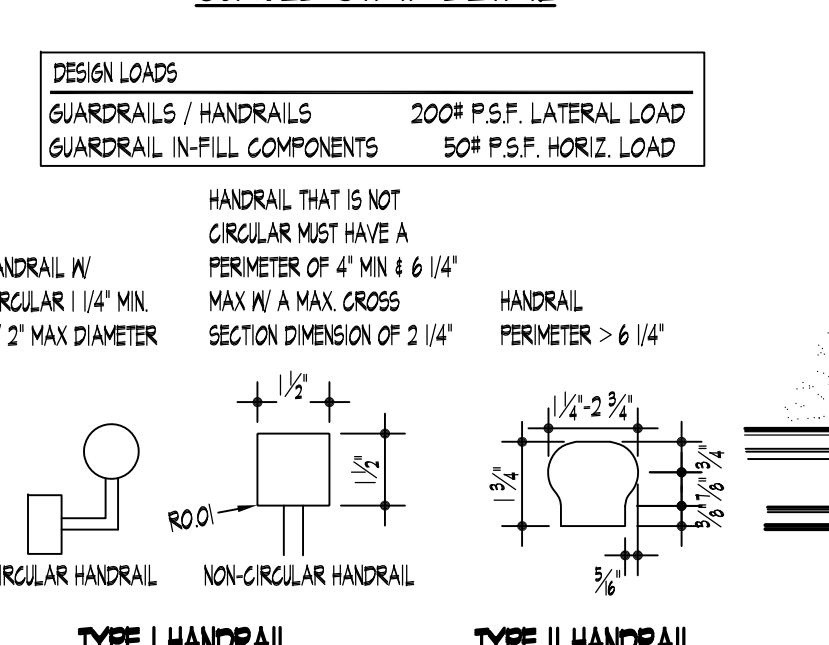
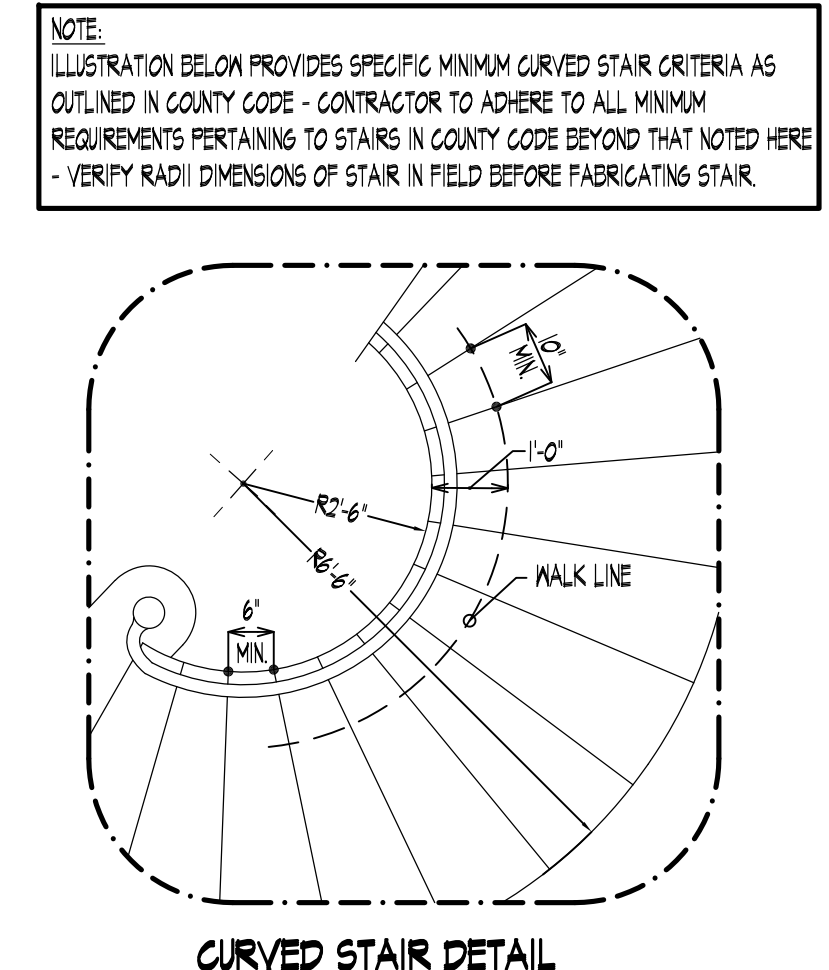
THE CLEARANCE BETWEEN THE MASONRY CHIMNEY AND COMBUSTIBLE FLOORING AND TRIM SHALL BE PER CODE.

ALL FOUNDATION FOOTINGS FOR MASONRY FIREPLACES AND CHIMNEYS ARE TO BE MIN OF 12" THICK (SEE FLOOR PLANS) AND SHALL EXTEND A MINIMUM OF 6" BEYOND THE FACE OF THE FIREPLACE TO SUPPORT WALLS. REINFORCE AS NOTED ON FOUNDATION PLAN.

ALL WOOD BEAMS, JOISTS, STUDS AND OTHER COMBUSTIBLE MATERIALS SHALL HAVE A MINIMUM CLEARANCE OF 2" FROM THE FIREPLACE/CHIMNEY MASONRY. IF DISTANCE AT REAR OF FIREPLACE FROM SURFACE OF FIREBRICK TO COMBUSTIBLE FRAMING IS LESS THAN 12" THEN 4" AIRSPACE MUST BE PROVIDED IN LIEU OF 2". PROVIDE NON-COMBUSTIBLE FIREBLOCKING BETWEEN AIR SPACE AND FRAMING AT ALL FLOORS/CEILING/ROOF AND INSTALL IN ACCORDANCE.

ALL FIREPLACE OPENINGS TO HAVE TEMPERED GLASS GASKETED DOORS.

- ELEVATION NOTES:**
- CHIMNEY TO BE A MINIMUM 2'-0" HIGHER THAN THE NEAREST ROOF WITHIN 10'-0" (IF APPLICABLE)
 - PROVIDE ROOF VENTILATION FOR 1/100TH OF THE CEILING AREA PLUS SOFFIT VENTILATION AS REQUIRED - SEE ROOF PLAN
 - ALL BEDROOM WINDOWS ARE TO HAVE AN ESCAPE WINDOW WITH A MINIMUM NET OPENING OF 22"x43" OR 5.1 SQUARE FEET MIN. AT 3'-0" A.F.F. MAX. VERIFY EGRESS W/ MFR. G.C. TO PROVIDE WINDOW MFR CATALOG SPECIFICATION 'CUT SHEETS' VERIFYING COMPLIANCE W/ MIN. EGRESS FOR SLEEPING ROOMS
 - MDM INSTALLATION INSTRUCTIONS MUST BE ON SITE AT THE TIME OF INSPECTION
 - ALL WINDOWS LOCATED IN BATHROOMS, NEAR ANY TUBS OR IN A STAIRWELL ARE TO HAVE TEMPERED SAFETY GLAZING
 - ALL BASEMENT WINDOWS ARE TO BE STEEL SASH TYPE WITH ESCAPE TYPE WINDOWS WHERE INDICATED ON PLAN AT 44" A.F.F. MAX. - UNO. PROVIDE PROTECTIVE COVERS OVER WELLS GREATER THAN 44" IN DEPTH SHALL PROVIDE A MIN. NET CLEAR AREA OF 9 SQ. FT. & HAVE A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WDW IN THE FULLY OPEN POSITION - RINGS 12" MIN. AT 3' FROM THE WALL - SPACED NO MORE THAN 18" O.C. VERT. FOR FULL HT. OF WELL CONSULT SITE ENGINEERING FOR ALL FDN LEDGES & DROPS AND THEIR LOCATIONS AS WELL AS ALL RELATED GRADING INFORMATION BOTH PROPOSED & EXISTING MAINTAIN 42" MIN. FOOTING DEPTH BELOW GRADE - WHERE APPLICABLE
 - PROVIDE ICE & WATER SHIELD AT ALL VALLEYS, AT ALL EAVES (EXTEND 24" MIN.) BEYOND THE EXTERIOR WALL LINE OF THE BUILDING) AND ALL ROOF SURFACES LOWER THAN 4:10
 - CONTINUOUS WOOD STRUCTURAL PANEL EXT. WALL SHEATHING TO BE APA RATED SHG5 EXT. 1 OR 2 1/2" THICK THROUGHOUT - NO INSULATED NON-STRUCTURAL SHEATHING W/O ARCHITECTS APPROVAL
 - ALL DECK LUMBER TO BE KOLMANIZED OR EXTERIOR GRADE QUALITY LUMBER
 - ANY FASTENERS IN CONTACT W/ PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, STAINLESS SILICONE BRONZE, OR EQUAL CORROSION RESISTANCE
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STAIR DETAILS

SCALE: NONE



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

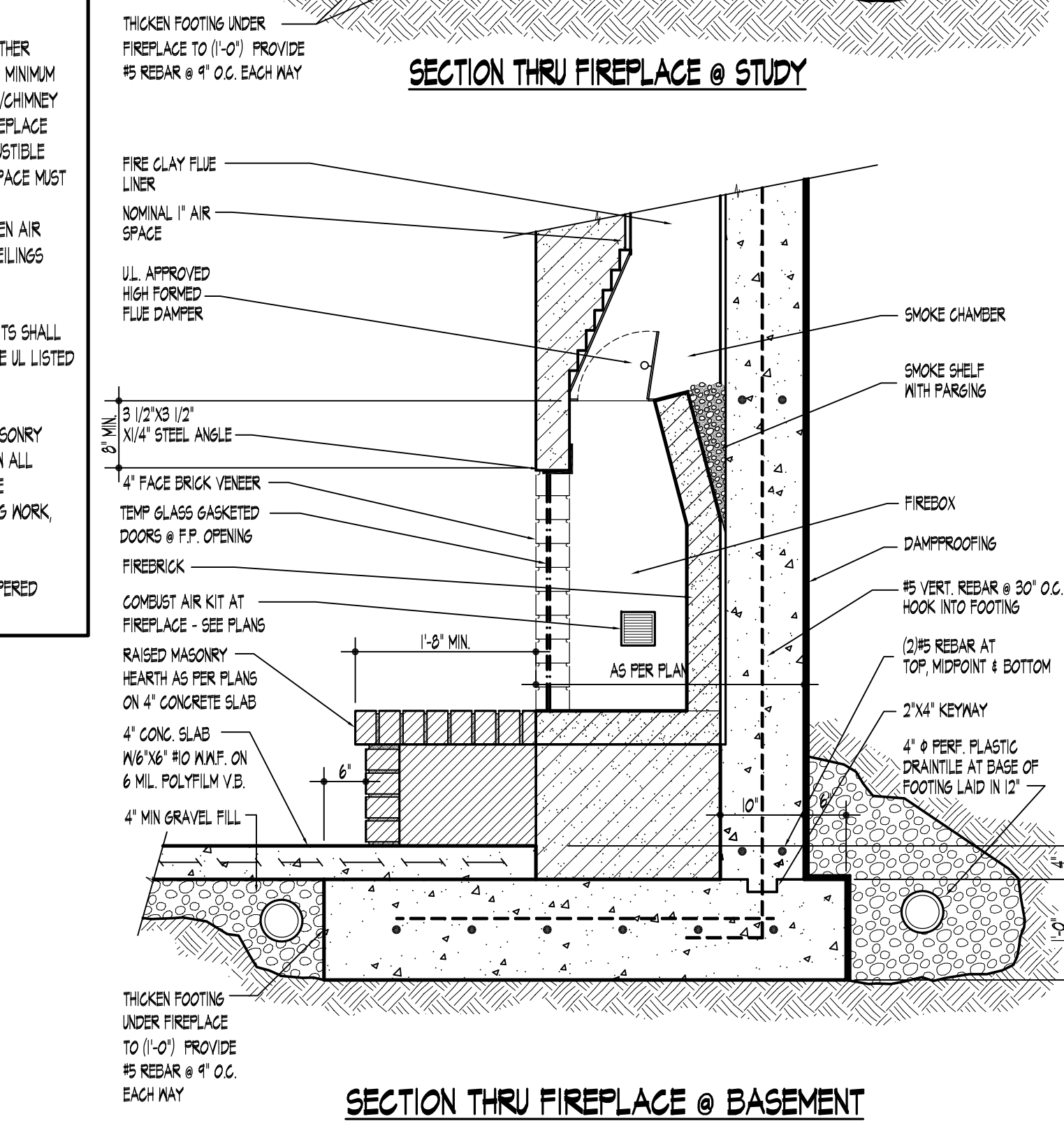
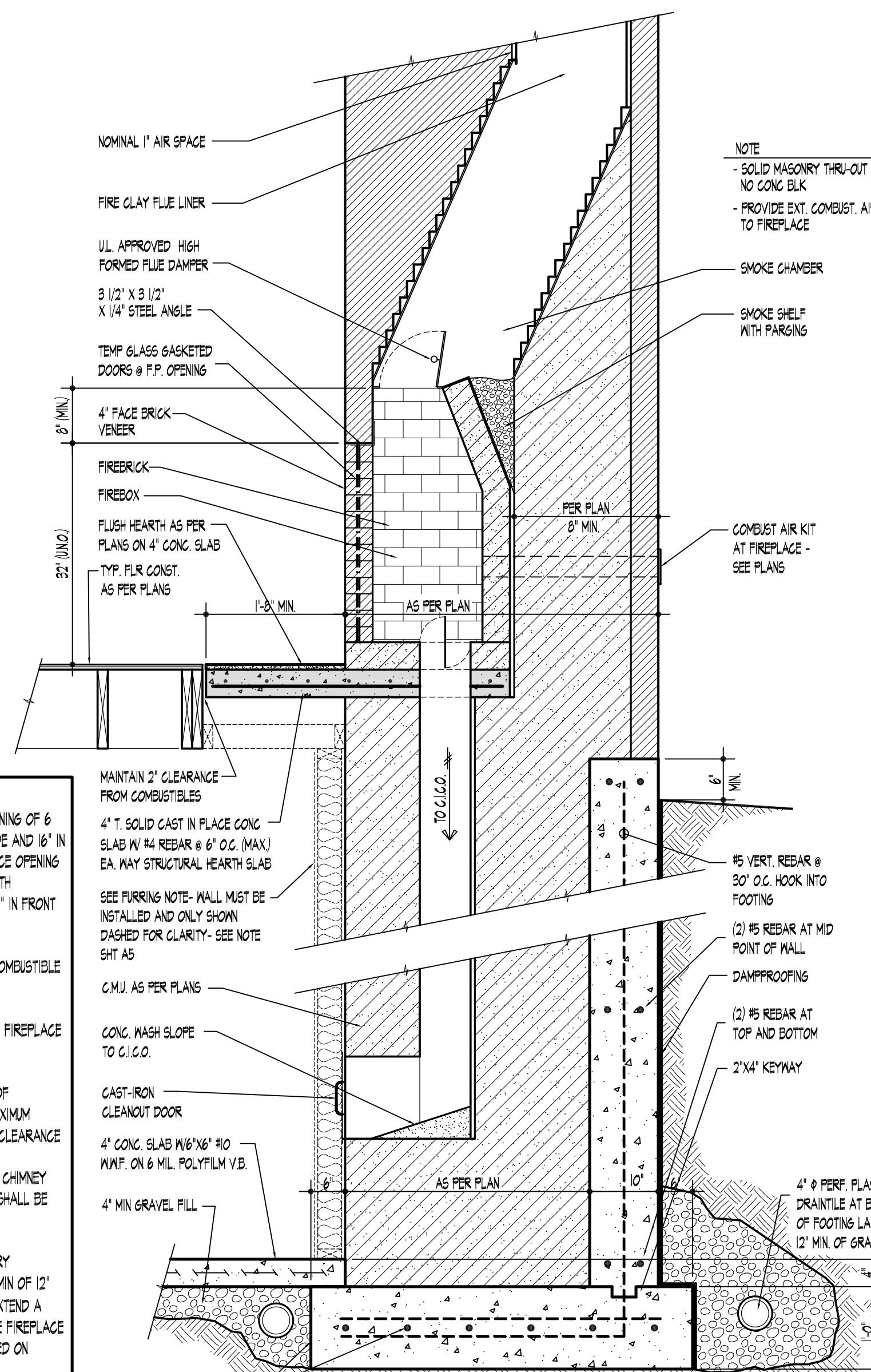
THE PURCHASE OF THIS PLAN FROM US DOES NOT CONSTITUTE AN ENDORSEMENT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL INFORMATION PROVIDED HEREIN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL INFORMATION PROVIDED HEREIN.

SEI BUILDERS, INC.
 3715 SPRING ROAD LOT 2
 OAK BROOK, IL

Project Number:	Date	Revisions
6024	6/26/0	ISSUED FOR OWNERS REVIEW
01	6/28/0	ISSUED FOR PERMIT
02	6/28/0	ISSUED FOR PERMIT
03	AS NOTED	

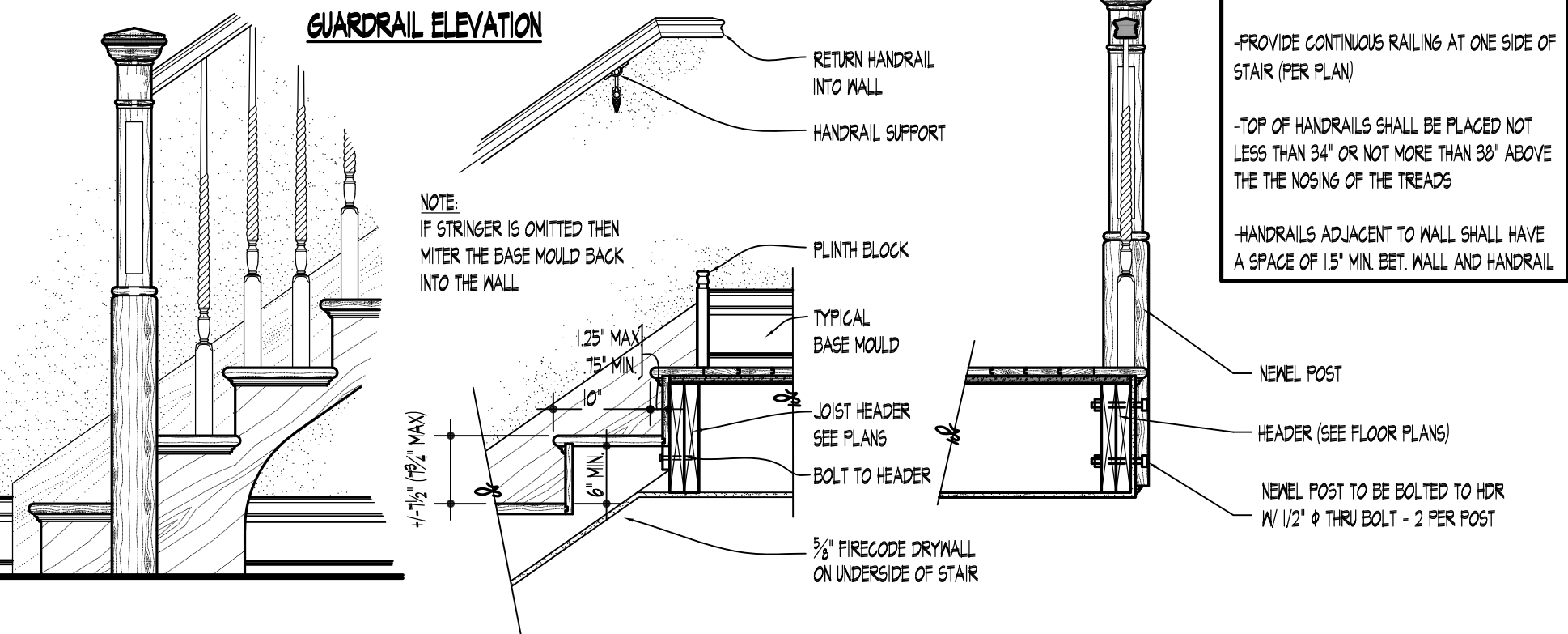
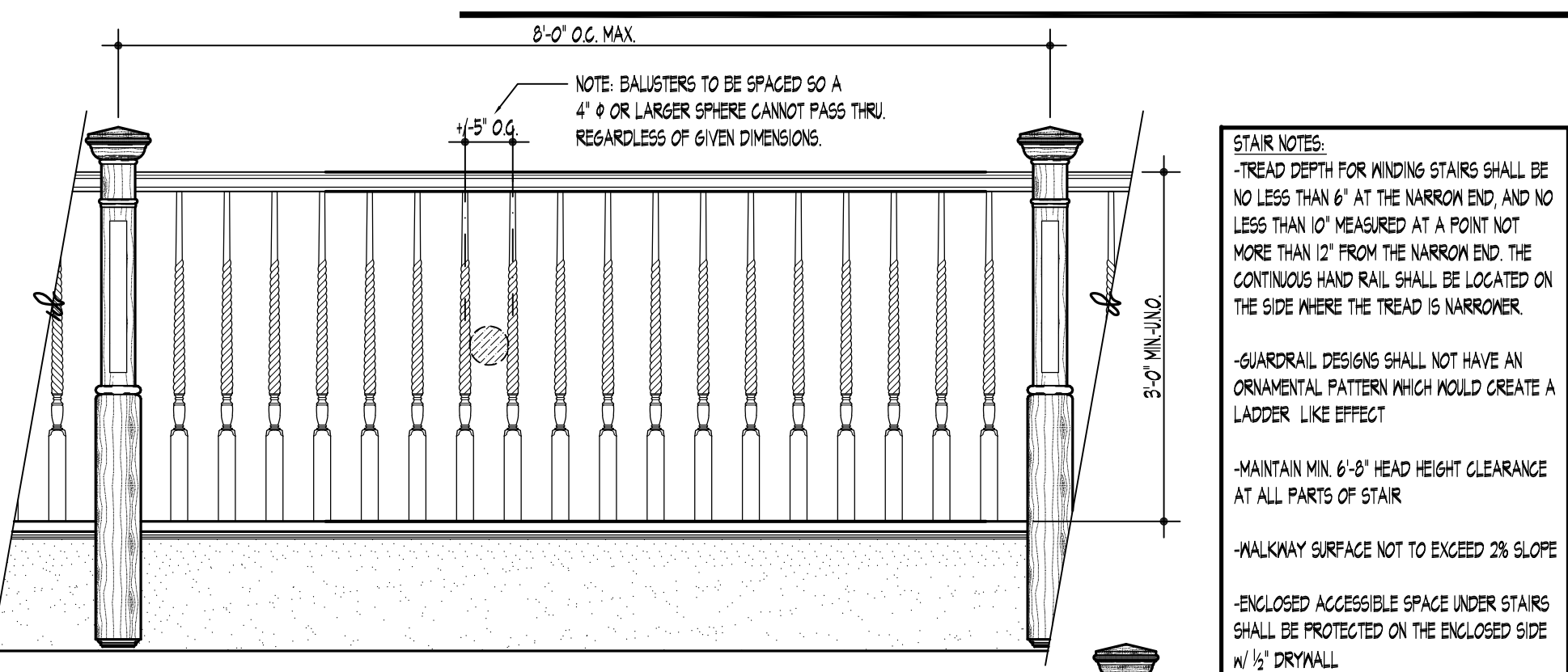
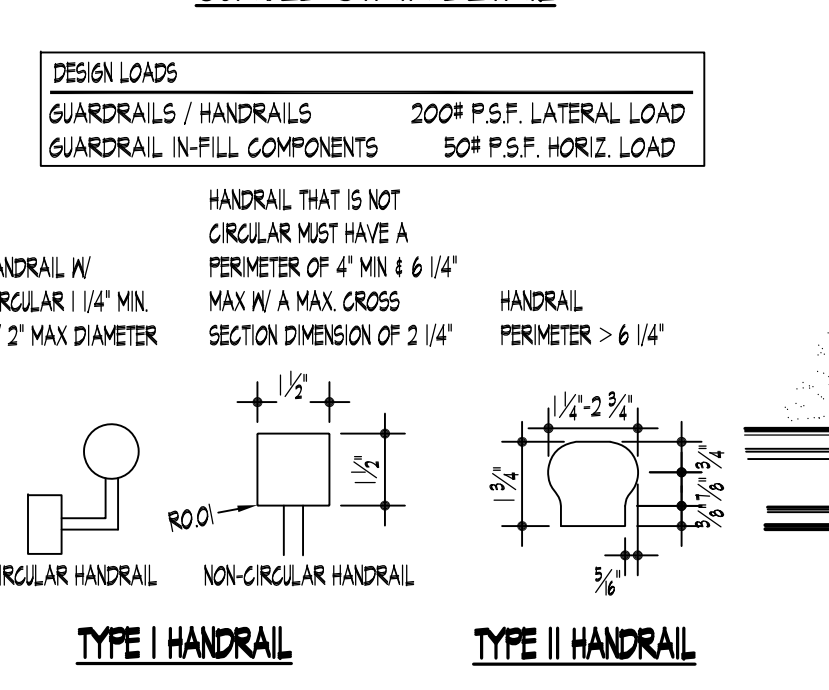
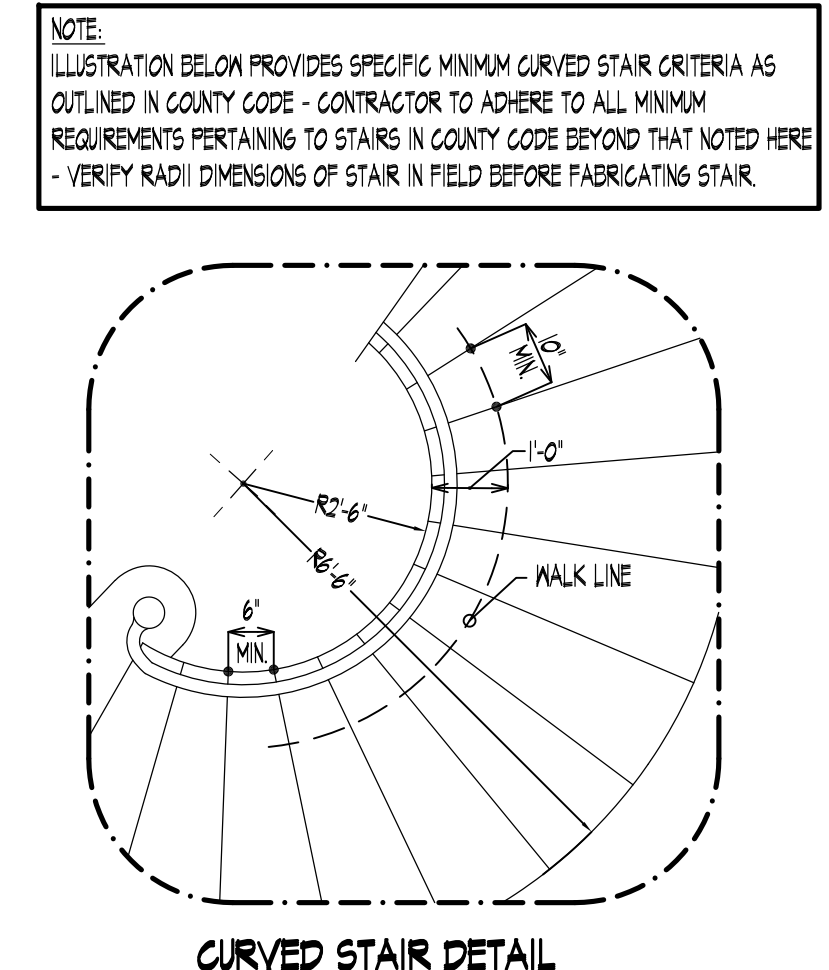
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 9324 South Roberts Road, Suite 115
 Hickory Hills, Illinois 60457
 Office: 708.598.0400 Fax: 708.598.0403
 www.michaelbusarchitects.com

A2



FIREPLACE SECTIONS

- ELEVATION NOTES:**
- CHIMNEY TO BE A MINIMUM 2'-0" HIGHER THAN THE NEAREST ROOF WITHIN 10'-0" (IF APPLICABLE)
 - PROVIDE ROOF VENTILATION FOR 1/100th OF THE CEILING AREA PLUS SOFFIT VENTILATION AS REQUIRED - SEE ROOF PLAN
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 - G.C. TO PROVIDE WINDOW MFR CATALOG SPECIFICATION 'CUT SHEETS' VERIFYING COMPLIANCE W/ MIN. EGRESS FOR SLEEPING ROOMS
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 - CONSULT SITE ENGINEERING FOR ALL FDN LEDGES & DROPS AND THEIR LOCATIONS AS WELL AS ALL RELATED GRADING INFORMATION BOTH PROPOSED & EXISTING MAINTAIN 42" MIN. FOOTING DEPTH BELOW GRADE - WHERE APPLICABLE
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STAIR DETAILS



RIGHT SIDE ELEVATION

FIREPLACE NOTES:

MIN. HEARTH EXTENSION: FIREPLACE OPENING OF 6 SQUARE FEET OR LESS - 8" ON EACH SIDE AND 16" IN FRONT OF FIREPLACE OPENING. FIREPLACE OPENING OF 6 SQUARE FEET OR GREATER - HEARTH EXTENSION OF 12" ON EACH SIDE AND 20" IN FRONT OF FIREPLACE OPENING.

FIREPLACE LINTEL IS TO BE OF A NON-COMBUSTIBLE MATERIAL

NO COMBUSTIBLE MATERIAL WITHIN 6" OF FIREPLACE OPENING

COMBUSTIBLE MATERIAL LESS THAN 12" OF FIREPLACE OPENING IS LIMITED TO A MAXIMUM PROJECTION OF 1/8" FOR EACH INCH OF CLEARANCE

THE CLEARANCE BETWEEN THE MASONRY CHIMNEY AND COMBUSTIBLE FLOORING AND TRIM SHALL BE PER CODE

ALL FOUNDATION FOOTINGS FOR MASONRY FIREPLACES AND CHIMNEYS ARE TO BE MIN OF 12" THICK (SEE FLOOR PLANS) AND SHALL EXTEND A MINIMUM OF 6" BEYOND THE FACE OF THE FIREPLACE TO SUPPORT WALLS. REINFORCE AS NOTED ON FOUNDATION PLAN

ALL WOOD BEAMS, JOISTS, STUDS AND OTHER COMBUSTIBLE MATERIALS SHALL HAVE A MINIMUM CLEARANCE OF 2" FROM THE FIREPLACE/CHIMNEY MASONRY. IF DISTANCE AT REAR OF FIREPLACE FROM SURFACE OF FIREBRICK TO COMBUSTIBLE FRAMING IS LESS THAN 12" THEN 4" AIRSPACE MUST BE PROVIDED IN LIEU OF 2". PROVIDE NON-COMBUSTIBLE FIREBLOCKING BETWEEN AIR SPACE AND FRAMING AT ALL FLOORS/CEILINGSS SECURELY FASTENED.

ALL FIREBOXES WITH COMBUSTION AIR KITS SHALL BE INSTALLED PER MFR SPECS AND HAVE UL LISTED COMBUSTION AIR KITS

THE GENERAL CONTRACTOR AND THE MASONRY CONTRACTOR ARE TO READ AND REVIEW ALL BUILDING CODES RELATED TO FIREPLACE CONSTRUCTION AND ANY CORRESPONDING WORK AND INSTALL IN ACCORDANCE.

ALL FIREPLACE OPENINGS TO HAVE TEMPERED GLASS GASKETED DOORS

THE PURCHASE OF THIS PLAN FROM US DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. LESSEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. CONSULT WITH THE ARCHITECT FOR ANY CHANGES TO THE PLAN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR FOR ANY DELAYS OR OMISSIONS THEREOF.

SEI BUILDERS, INC.
 5715 SPRING ROAD LOT 2
 OAK BROOK, IL

Project Number:	Date	Revisions
6024	6/26/16	ISSUED FOR OWNERS REVIEW
	6/28/16	ISSUED FOR PERMIT

MICHAEL BUSS ARCHITECTS, LTD.
 9324 South Roberts Road, Suite 115
 Hickory Hills, Illinois 60457
 Office: 708.596.0400 Fax: 708.596.0403
 www.michaelbussarchitects.com

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Build By:
SEI BUILDERS, INC.
3715 SPRING ROAD LOT 2
OAK BROOK, IL

Project Number:	Date	Revisions
6024	6/26/0	ISSUED FOR OWNERS REVIEW
Designed by: MBE	6/23/0	ISSUED FOR PERMIT
Drawn by: MBE		
Checked by: MBE		
Scale:		AS NOTED

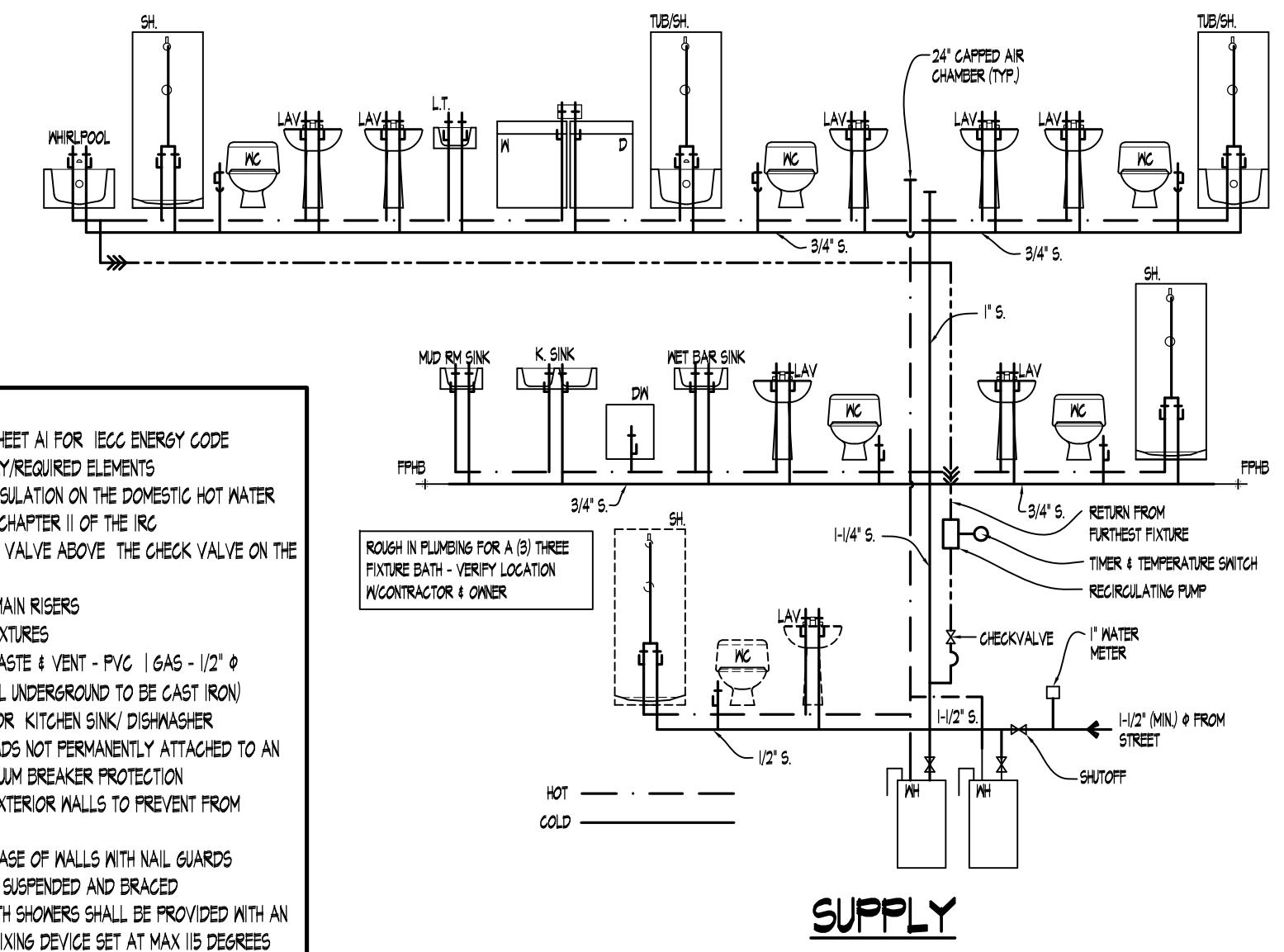
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A3

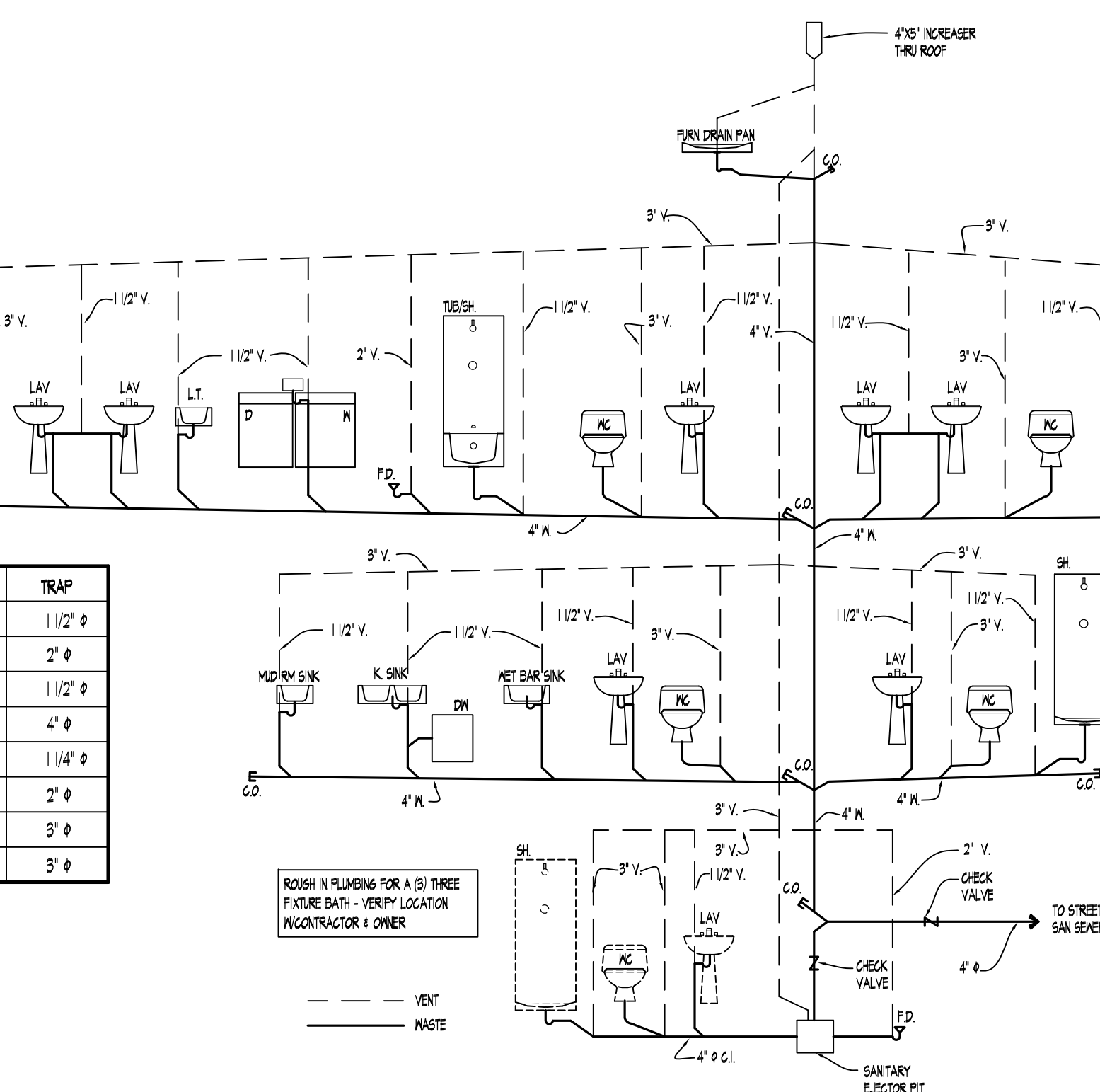
ROOM	SQ. FT.	LIGHT		VENTILATION		NOTES
		REQ'D	ACTUAL	REQ'D	ACTUAL	
FAMILY ROOM	312	31	42	14	40	
DINING ROOM	226	23	24	11	20	
HEARTH ROOM	238	23	52	11	40	
KITCHEN/BREAKFAST	571	51	41	21	46	
PORCH ROOM	34	-----	-----	48 C.F.M.	-----	50 C.F.M. EXH. FAN
BEDROOM #1	411	41	44	21	54	
BATH #1	25	-----	-----	33 C.F.M.	-----	50 C.F.M. EXH. FAN
BATH #2	184	-----	-----	245 C.F.M.	-----	250 C.F.M. EXH. FAN
STUDY	165	17	40	4	30	
BEDROOM #2	308	21	22	10	16	
BATH #3	68	-----	-----	81 C.F.M.	-----	100 C.F.M. EXH. FAN
BEDROOM #3	216	22	25	11	17.2	
BEDROOM #4	229	23	24	11	16	
BATH #4	44	-----	-----	52 C.F.M.	-----	60 C.F.M. EXH. FAN
BATH #5	79	-----	-----	105 C.F.M.	-----	150 C.F.M. EXH. FAN
BEDROOM #5	225	23	30	11	20	
BASEMENT @ 2%	3045	62	76	62	76	

TYPE OF FIXTURE	NUMBER TOTAL	FIXTURE LOAD		PIPE CONNECTION SIZES					REMARKS	
		LOAD	TOTAL	C/W	H/W	S/W	VENT	TRAP		
WATER CLOSET	6	3	18	1/2"	---	3"	2"	3"	4" C.I. UNDERGROUND	
LAVATORY	8	1	8	1/2"	1/2"	2"	1/2"	1/2"		
KITCHEN/BAR SINK	3	2	6	1/2"	1/2"	2"	1/2"	1/2"		
TUB/SHOWER	3	2	10	1/2"	1/2"	2"	1/2"	2"	4" C.I. UNDERGROUND	
WIRKPOOL	1	2	2	1/2"	1/2"	2"	1/2"	1/2"		
DISH WASHER	1	1	1	---	1/2"	2"	1/2"	1/2"		
GREY BOX WASHER	1	4	4	1/2"	1/2"	2"	1/2"	2"		
LAUNDRY WAGET	1	3	3	1/2"	1/2"	2"	1/2"	1/2"		

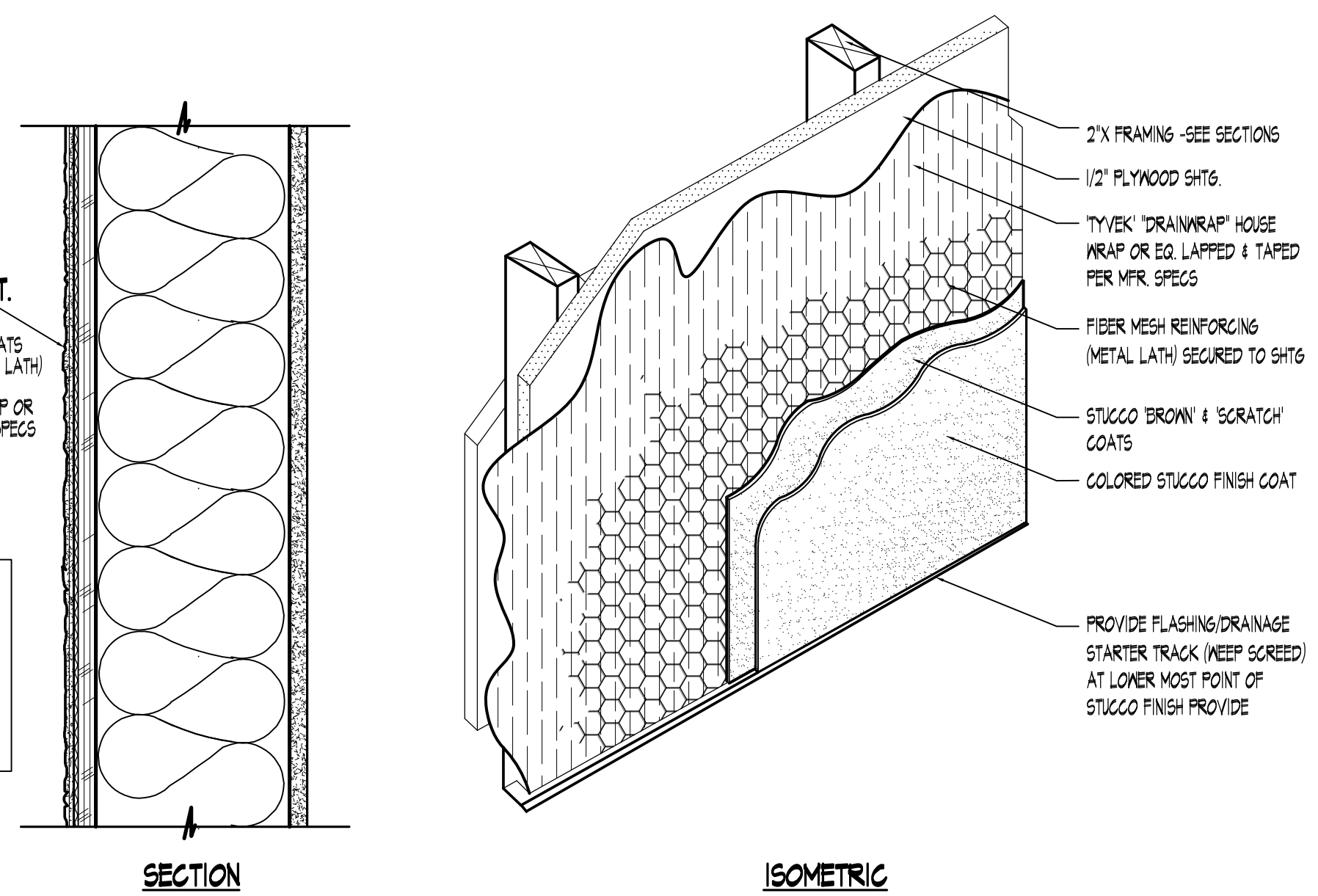
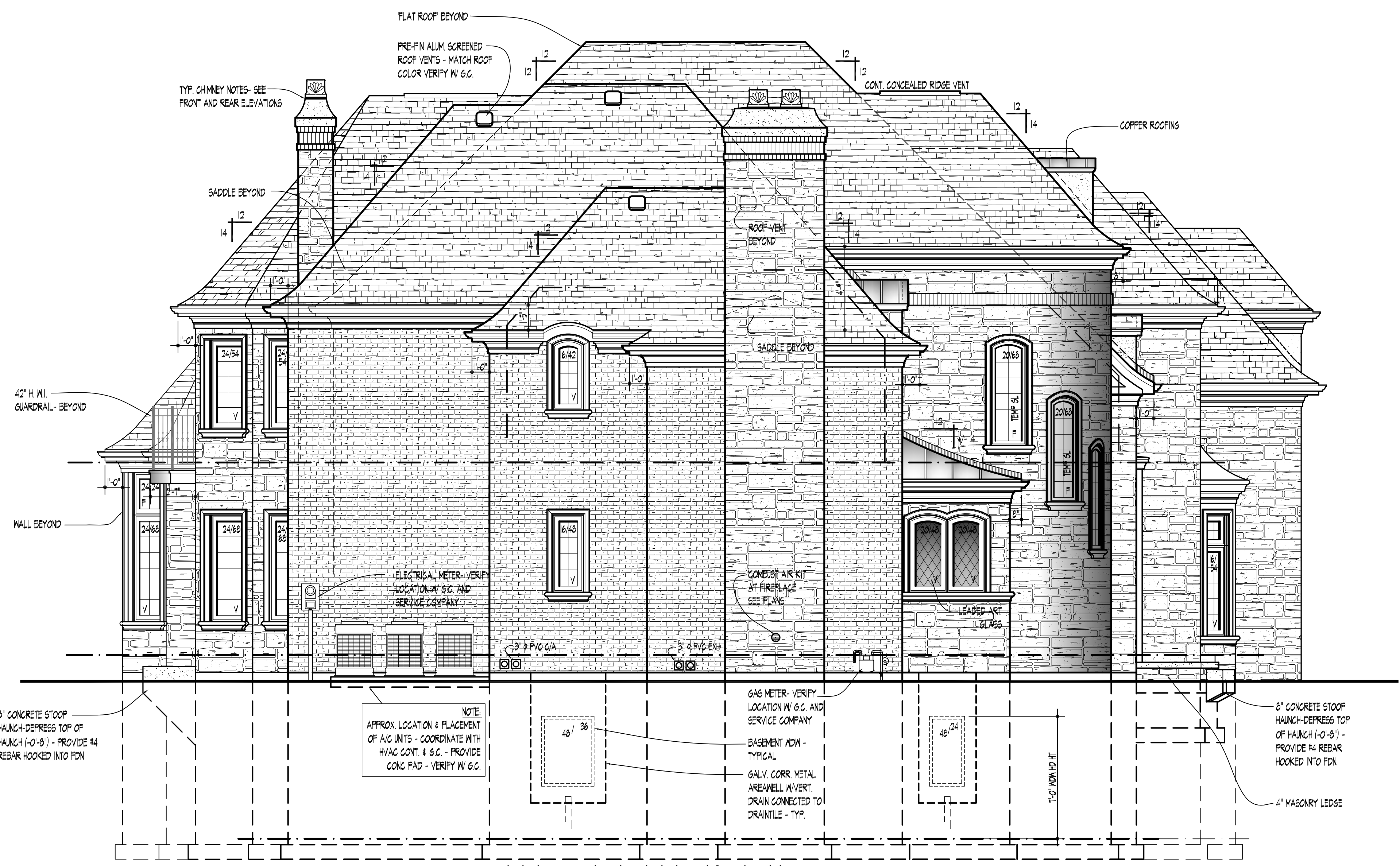
52 W.G.P.V. TOTAL - 1/4" SERVICE REQ'D W/ 1" METER



- PLUMBING NOTES:**
- SEE ADDITIONAL NOTES ON SHEET A1 FOR IECC ENERGY CODE COMPLIANCE AND MANDATORY/REQUIRED ELEMENTS
 - PROVIDE HEAT TRAPS AND INSULATION ON THE DOMESTIC HOT WATER SUPPLY IN COMPLIANCE WITH CHAPTER 11 OF THE IRC
 - PROVIDE A FULL PORT BALL VALVE ABOVE THE CHECK VALVE ON THE SANITARY ELECTOR
 - 2" O" AIR CHAMBERS @ ALL MAIN RISES
 - 1" O" AIR CHAMBERS @ ALL FIXTURES
 - WATER SUPPLY - COPPER | WASTE & VENT - P.V.C. | GAS - 1/2" Ø SCHEDULE 40 STEEL PIPE (ALL UNDERGROUND TO BE CAST IRON)
 - MIN. 2" DRAIN IS REQUIRED FOR KITCHEN SINK/DISHWASHER
 - ALL FIXTURES W/ HOSE THREADS NOT PERMANENTLY ATTACHED TO AN APPLIANCE SHALL HAVE VACUUM BREAKER PROTECTION
 - INSULATE ALL PLUMBING ON EXTERIOR WALLS TO PREVENT FROM FREEZING
 - PROTECT WATER PIPING AT BASE OF WALLS WITH NAIL GUARDS
 - ALL PIPING TO BE PROPERLY SUPPORTED AND BRACED
 - ALL SHOWERS AND BATHS WITH SHOWERS SHALL BE PROVIDED WITH AN AUTOMATIC SAFETY WATER-MIXING DEVICE SET AT MAX 115 DEGREES FAHRENHEIT AT TIME OF INSTALLATION. I.L. PLUMBING CODE 910.640 B



FIXTURE	DRAIN	TRAP
L.T.	1/2" Ø	1/2" Ø
D.W.	2" Ø	2" Ø
K. SINK	1/2" Ø	1/2" Ø
K.C.	4" Ø	4" Ø
LAV.	1/4" Ø	1/4" Ø
M.P.	2" Ø	2" Ø
SHOWER	3" Ø	3" Ø
TUB/SH.	3" Ø	3" Ø



TYP. STUCCO WALL CONST.
- COLORED STUCCO FINISH COAT
- STUCCO BROWN & SCRATCH COATS
- FIBER MESH REINFORCING (METAL LATH) SECURED TO SHEATHING
- TYVEK "DRAINWRAP" HOSE WRAP OR EQ. LAPPED & TAPED PER MFR SPECS
- 1/2" PLYWOOD SHEATHING
- 2x6 STUDS @ 16" O.C.
- 5/8" R-2 BATT INSUL. W/ V.B.
- 1/2" DRYWALL

NOTE:
- PROVIDE FLASHING/DRAINAGE STARTER TRACK (NEEP SCREENED) AT LOWER MOST POINT OF STUCCO FINISH PROVIDE FIBER MESH JOINT REINFORCEMENT AT ALL JOINTS

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Build By:
SEI BUILDERS, INC.
 3715 SPRING ROAD LOT 2
 OAK BROOK, IL

Project Number:	6024	Revisions:
Designed by:	MPB	ISSUED FOR OWNER REVIEW
Drawn by:	MPB	ISSUED FOR PERMIT
Checked by:	MPB	
Scale:	AS NOTED	

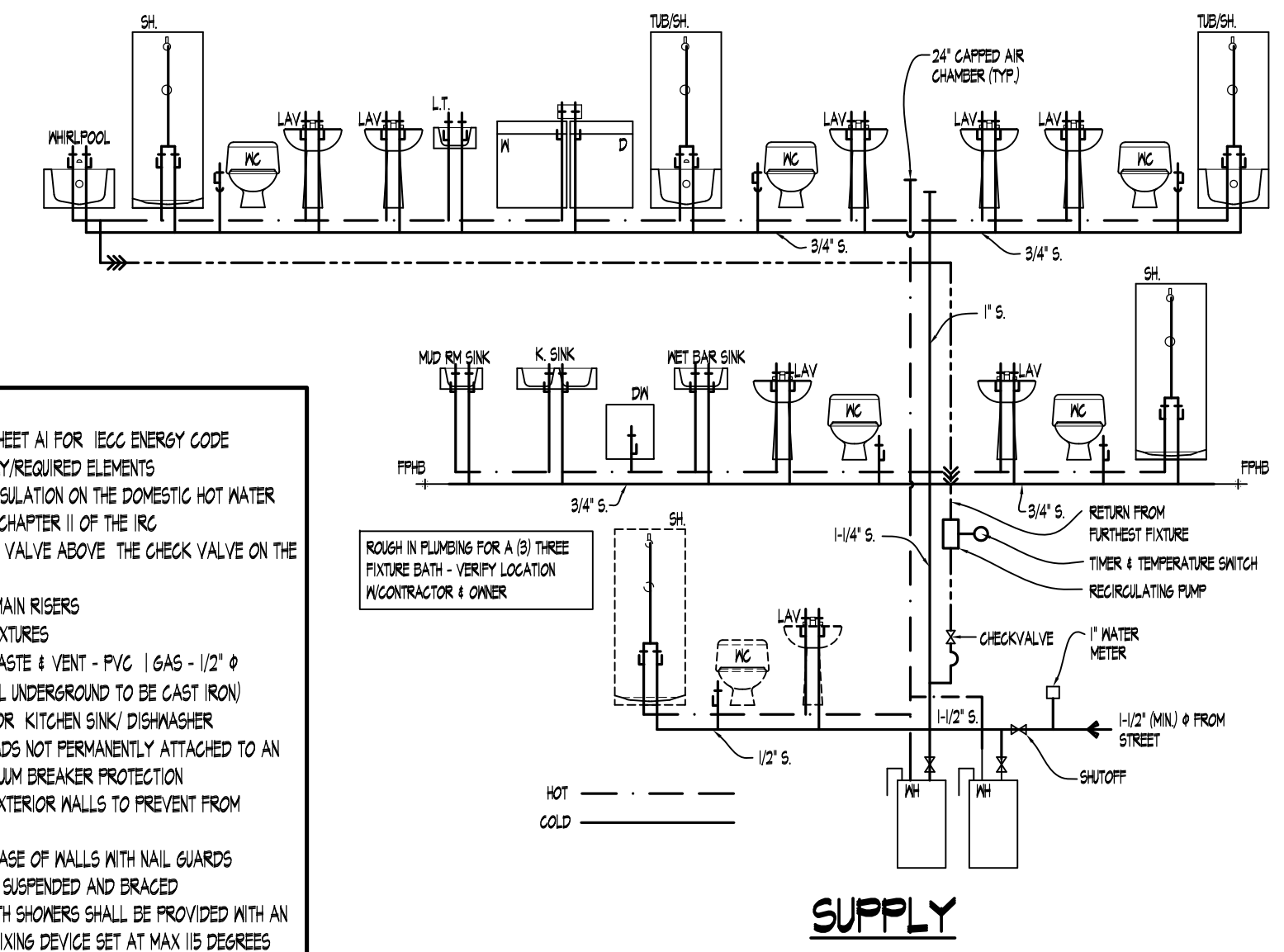
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A3

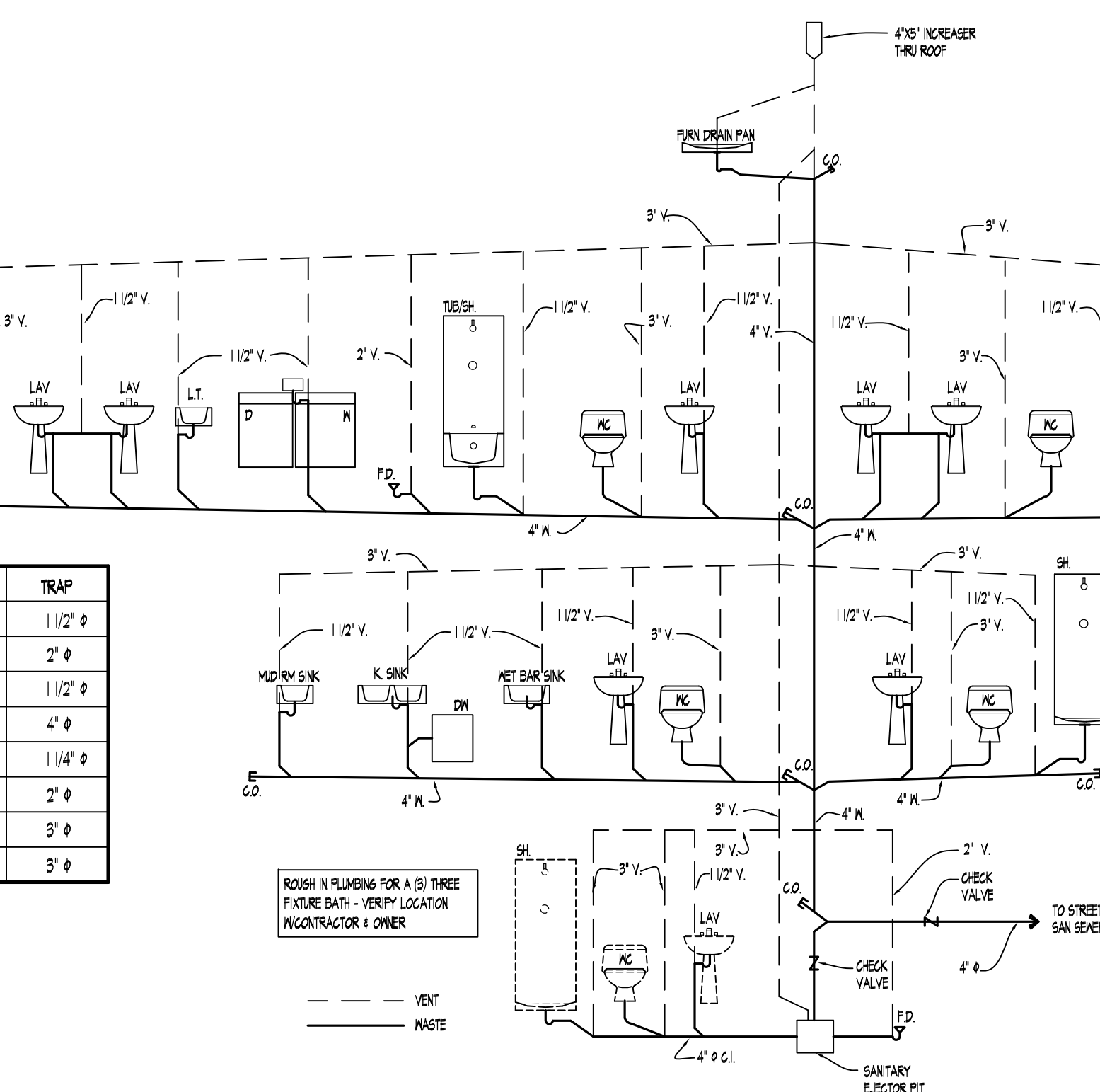
ROOM	SQ. FT.	LIGHT		VENTILATION		NOTES
		REQ'D	ACTUAL	REQ'D	ACTUAL	
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PORCH ROOM	34	-----	-----	48 C.F.M.	-----	50 C.F.M. EXH. FAN
BEDROOM #1	411	41	44	21	54	
BATH #1	25	-----	-----	33 C.F.M.	-----	50 C.F.M. EXH. FAN
BATH #2	184	-----	-----	245 C.F.M.	-----	250 C.F.M. EXH. FAN
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BEDROOM #3	216	22	25	11	17.2	
BEDROOM #4	229	23	24	11	16	
BATH #4	44	-----	-----	52 C.F.M.	-----	60 C.F.M. EXH. FAN
BATH #5	71	-----	-----	105 C.F.M.	-----	150 C.F.M. EXH. FAN
BEDROOM #5	225	23	30	11	20	
BASEMENT @ 28'	3045	62	76	62	76	

WATER DEMAND - PLUMBING CHART									
TYPE OF FIXTURE	NUMBER TOTAL	FIXTURE LOAD		PIPE CONNECTION SIZES			REMARKS		
		LOAD	TOTAL	G.W.	H.W.	VENT			
WATER CLOSET	6	3	18	1/2"	---	3"	2"	3"	4" G.I. UNDERGROUND
LAVATORY	8	1	8	1/2"	1/2"	2"	1/2"	1/2"	
KITCHEN BAR SINK	3	2	6	1/2"	1/2"	2"	1/2"	1/2"	
TUB/SHOWER	3	2	10	1/2"	1/2"	2"	1/2"	2"	4" G.I. UNDERGROUND
WIRKPOOL	1	2	2	1/2"	1/2"	2"	1/2"	1/2"	
DISH WASHER	1	1	1	---	1/2"	2"	1/2"	1/2"	
GREY BOX WASHER	1	4	4	1/2"	1/2"	2"	1/2"	2"	
LAUNDRY WAGET	1	3	3	1/2"	1/2"	2"	1/2"	1/2"	

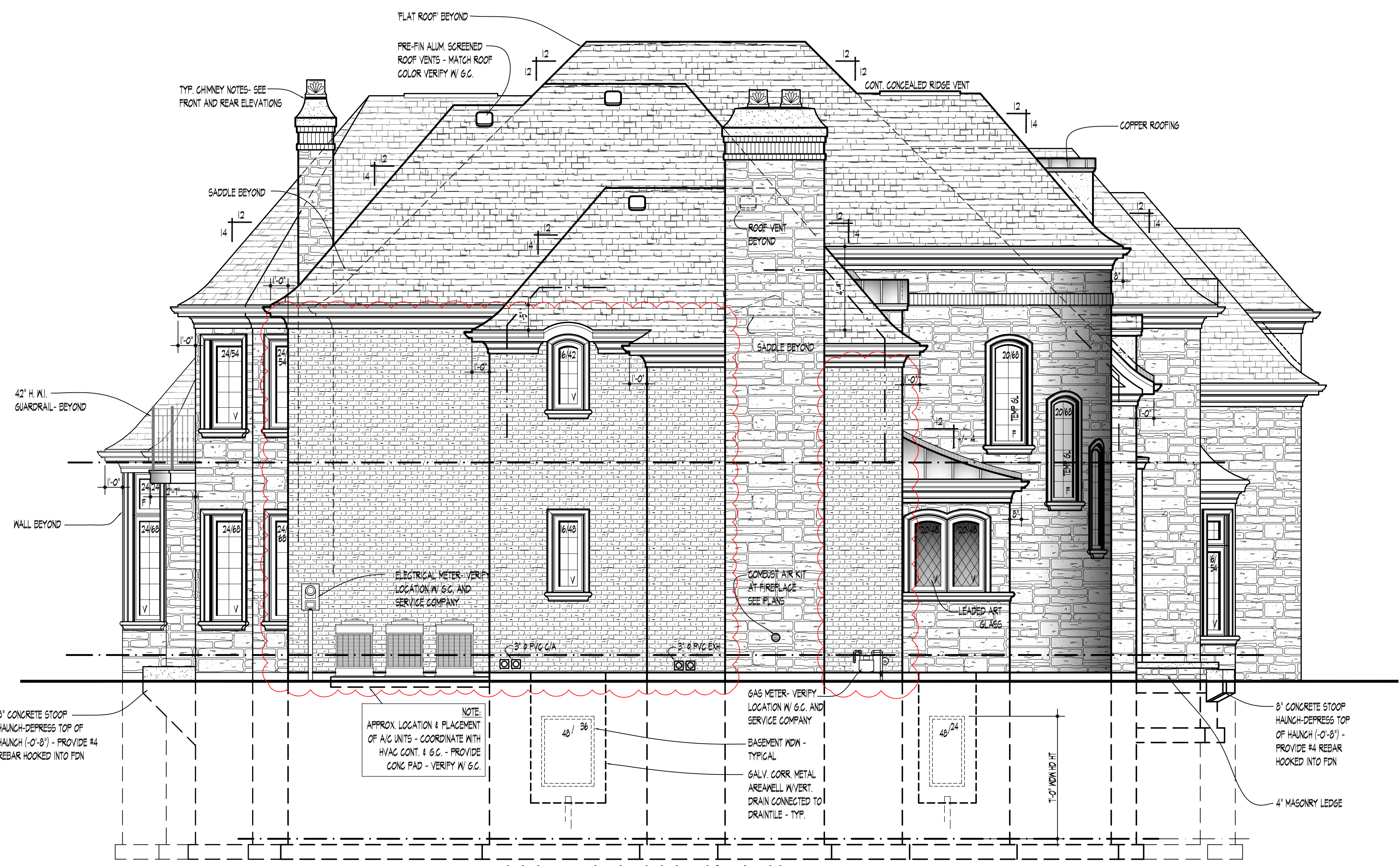
52 W.G.P.V. TOTAL - 1/4" SERVICE REQ'D IN 1" METER



- PLUMBING NOTES:**
- SEE ADDITIONAL NOTES ON SHEET A1 FOR IECC ENERGY CODE COMPLIANCE AND MANDATORY/REQUIRED ELEMENTS
 - PROVIDE HEAT TRAPS AND INSULATION ON THE DOMESTIC HOT WATER SUPPLY IN COMPLIANCE WITH CHAPTER 11 OF THE IRC
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 - INSULATE ALL PLUMBING ON EXTERIOR WALLS TO PREVENT FROM FREEZING
 - PROTECT WATER PIPING AT BASE OF WALLS WITH NAIL GUARDS
 - ALL PIPING TO BE PROPERLY SUPPORTED AND BRACED
 - ALL SHOWERS AND BATHS WITH SHOWERS SHALL BE PROVIDED WITH AN AUTOMATIC SAFETY WATER-MIXING DEVICE SET AT MAX 115 DEGREES FAHRENHEIT AT TIME OF INSTALLATION. I.L. PLUMBING CODE 910.640 B



FIXTURE	DRAIN	TRAP
L.T.	1/2" Ø	1/2" Ø
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SHOWER	3" Ø	3" Ø
TUB/SH.	3" Ø	3" Ø

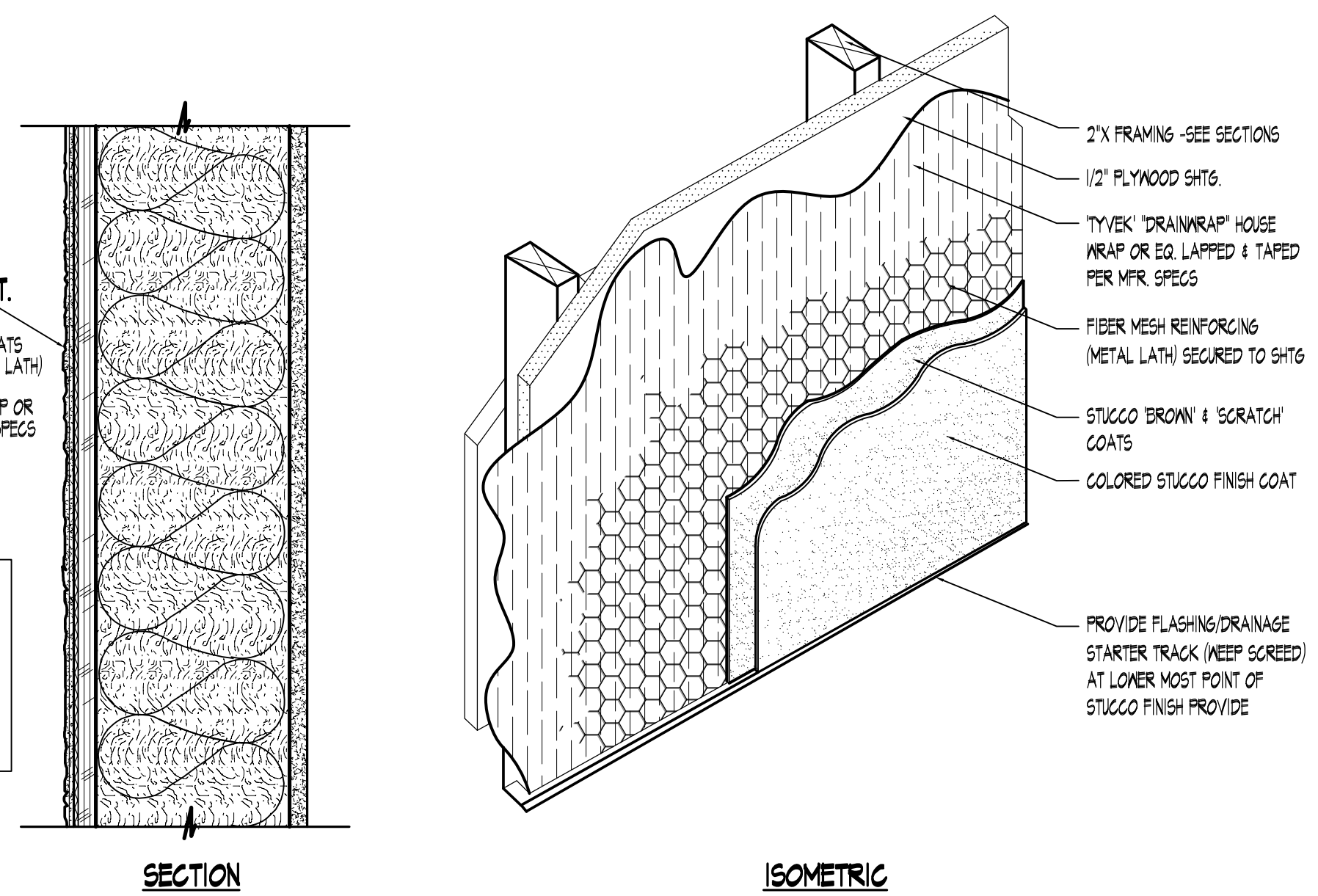


TYP. STUCCO WALL CONST.

- COLORED STUCCO FINISH COAT
- STUCCO BROWN & SCRATCH COATS
- FIBER MESH REINFORCING (METAL LATH) SECURED TO SHTG
- TYVEK "DRAINWRAP" HOUSE WRAP OR EQ. LAPPED & TAPED PER MFR SPECS
- 1/2" PLYWOOD SHTG
- 2" Ø STUDS @ 16" O.C.
- 3/4" R-2 BATT INSUL. W/ V.B.
- 1/2" DRYWALL

NOTE:

- PROVIDE FLASHING/DRAINAGE STARTER TRACK (NEEP SCREED) AT LOWER MOST POINT OF STUCCO FINISH PROVIDE FIBER MESH JOINT REINFORCEMENT AT ALL JOINTS



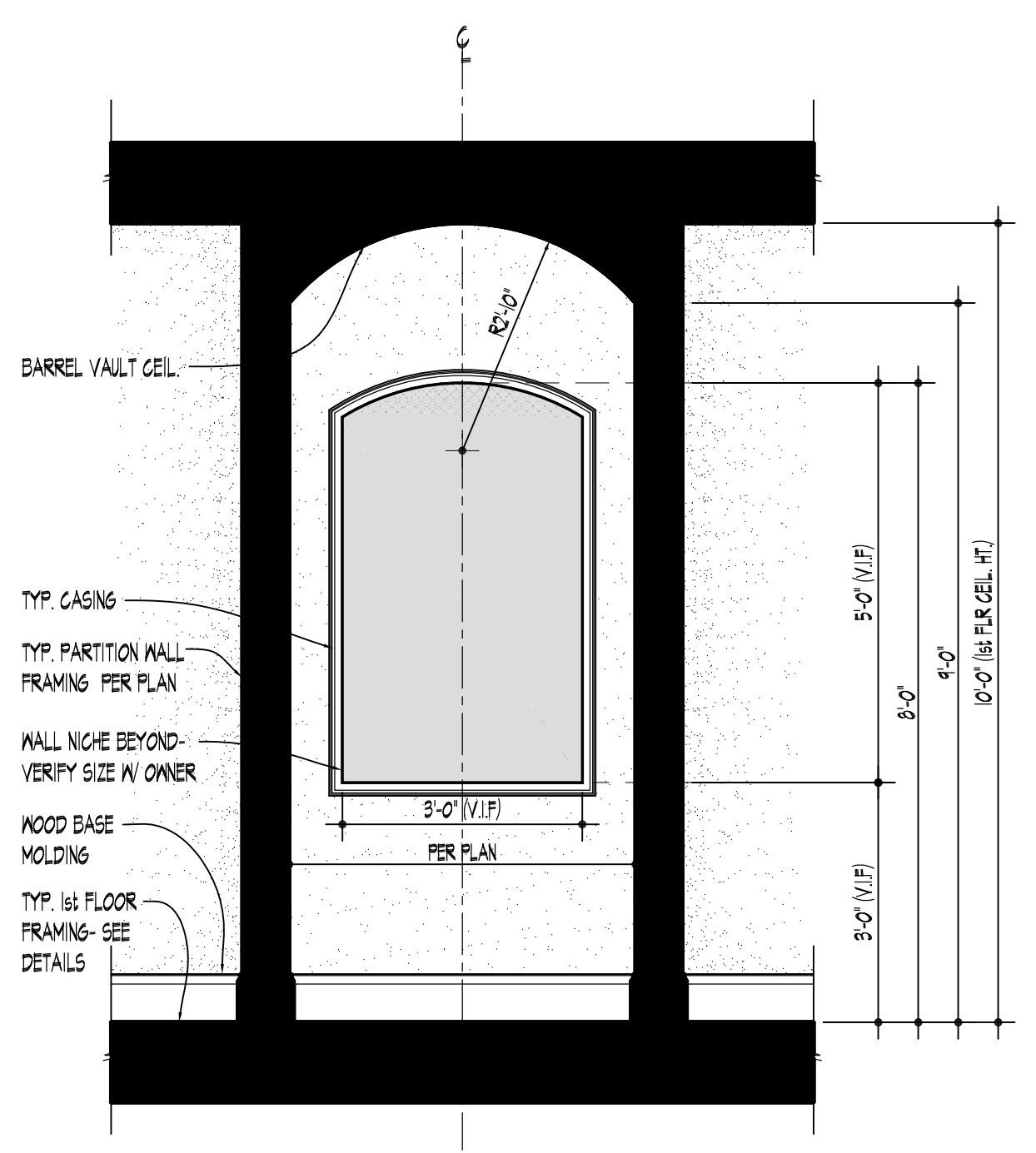
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SEI BUILDERS, INC.
315 SPRING ROAD LOT 2
OAK BROOK, IL

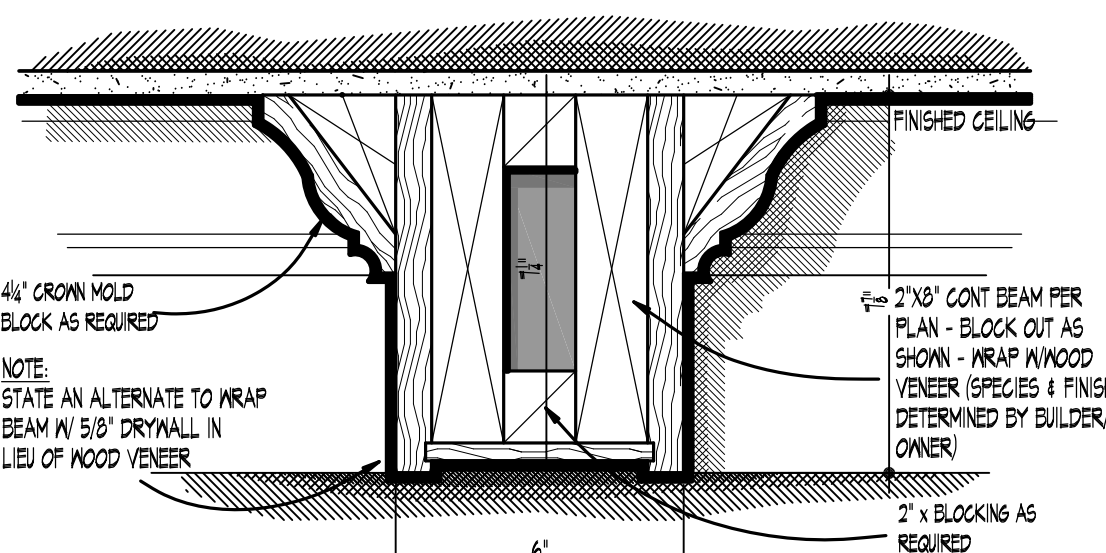
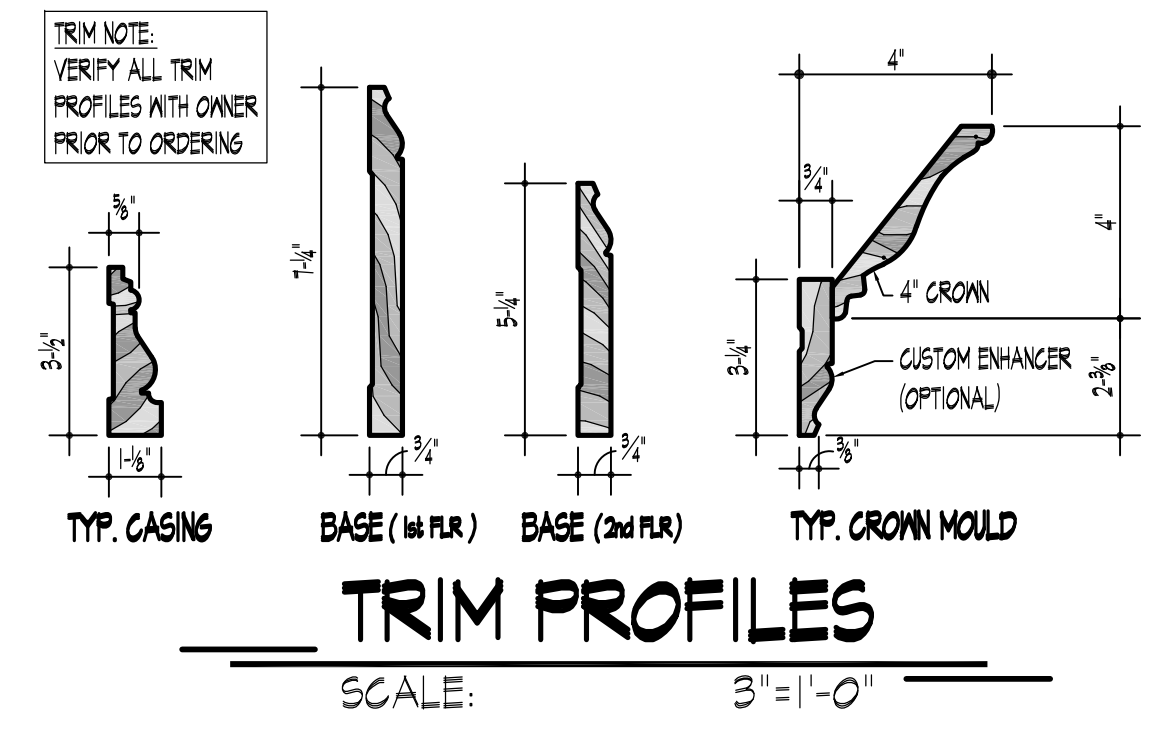
Project Number:	0204	Revisions:
Designed by:	MPB	ISSUED FOR OWNERS REVIEW
Drawn by:	MPB	ISSUED FOR PERMIT
Checked by:	MPB	
Scale:	AS NOTED	

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A4

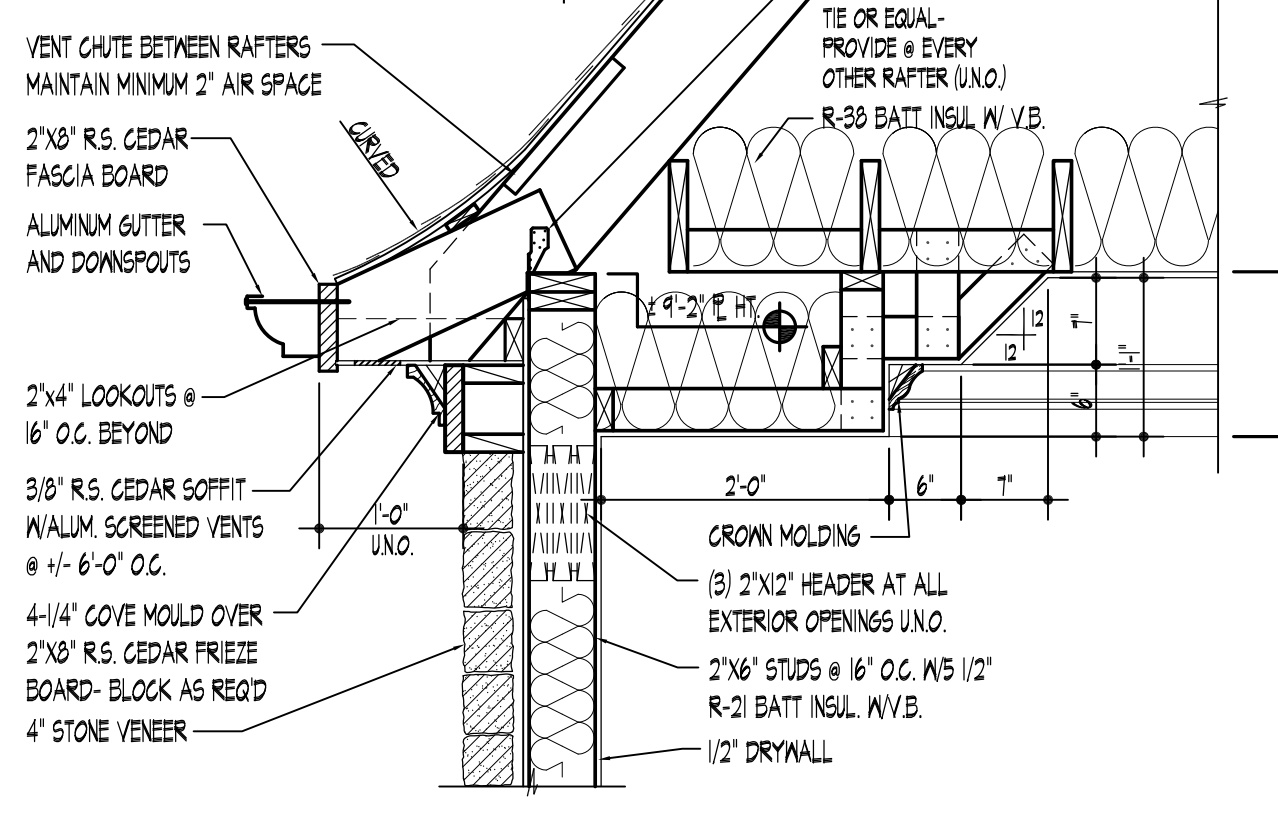


* 1st FLOOR HALLWAY *
INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



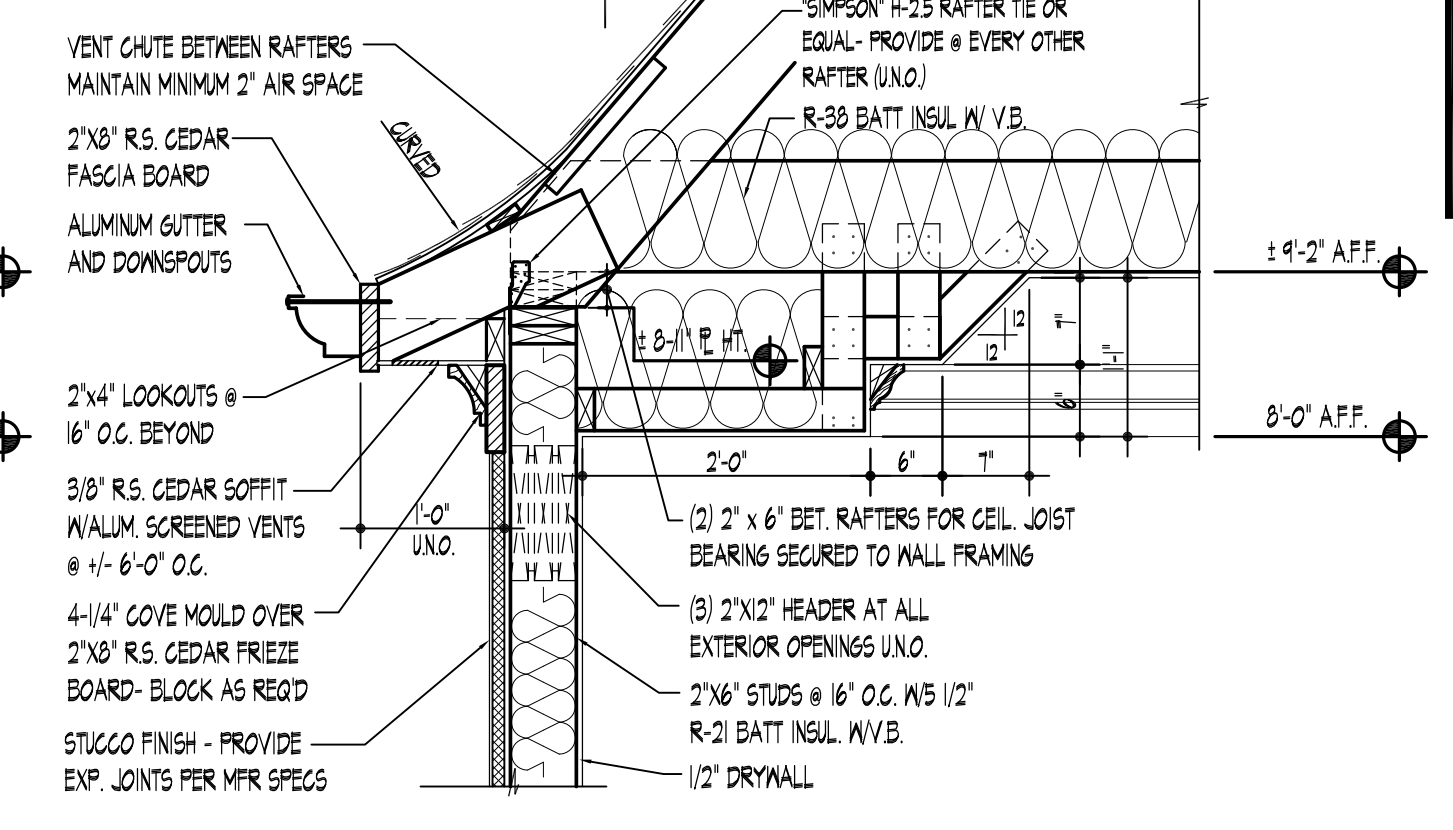
COFFER BEAM DETAIL
SCALE: 3/4" = 1'-0"

TYP. ROOF CONST.
- ASPHALT SHINGLE ROOF ON ON 1/2" BUILDING FELT
- 1/2" CDX PLYWOOD ROOF SHEATHING
- 2" X ROOF RAFTERS AS PER PLAN
- 2" X CEIL JOISTS AS PER PLAN
- 12" R-38 BATT INSUL. N.V.B.
- 1/2" DRYWALL



* THRU BEDROOM #1 (STONE) *
SECT. THRU EAVE
SCALE: 3/4" = 1'-0"

TYP. ROOF CONST.
- ASPHALT SHINGLE ROOF ON ON 1/2" BUILDING FELT
- 1/2" CDX PLYWOOD ROOF SHEATHING
- 2" X ROOF RAFTERS AS PER PLAN
- 2" X CEIL JOISTS AS PER PLAN
- 12" R-38 BATT INSUL. N.V.B.
- 1/2" DRYWALL



* THRU BEDROOM #1 (STUCCO) *
SECT. THRU EAVE
SCALE: 3/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

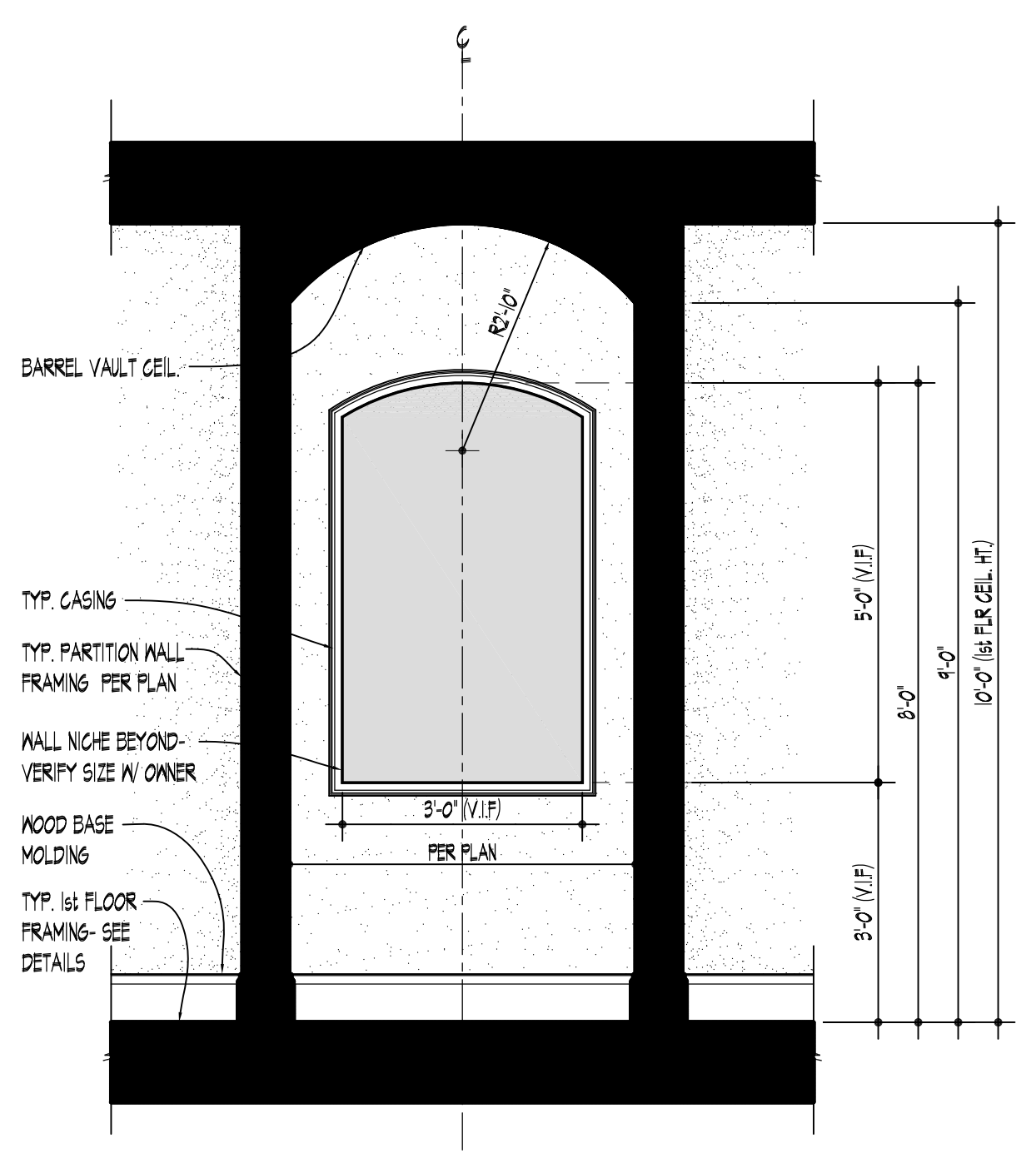
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SEI BUILDERS, INC.
315 SPRING ROAD LOT 2
OAK BROOK, IL

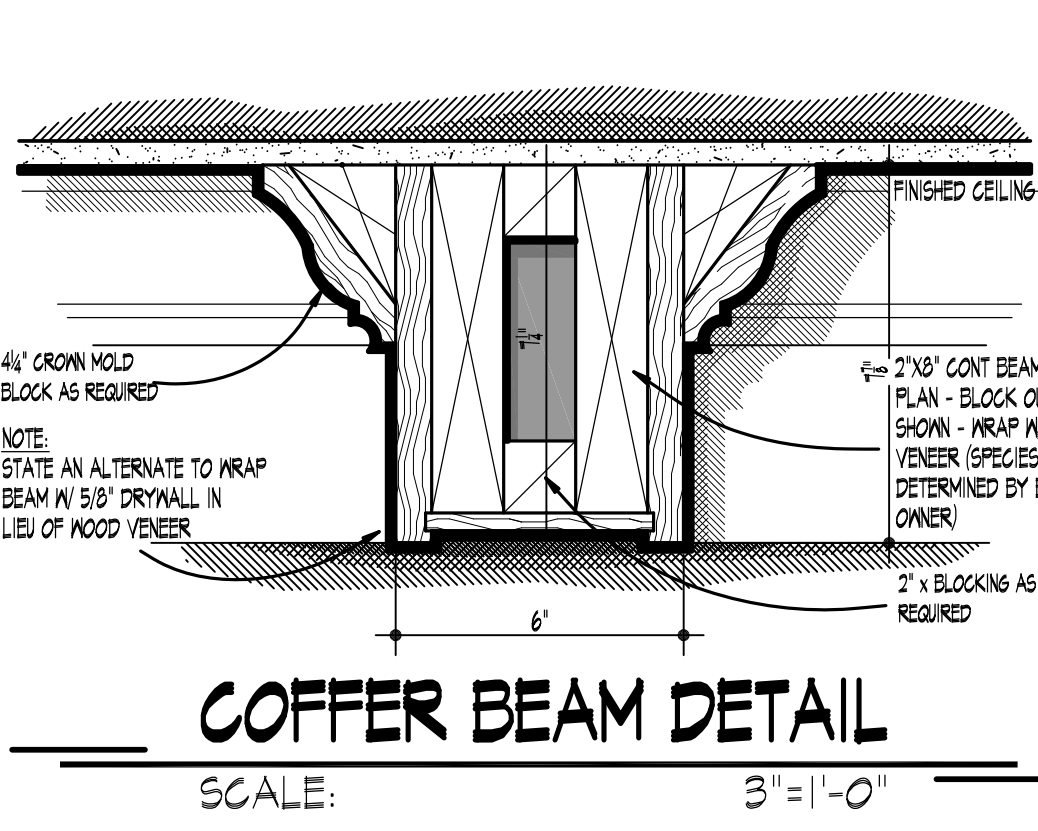
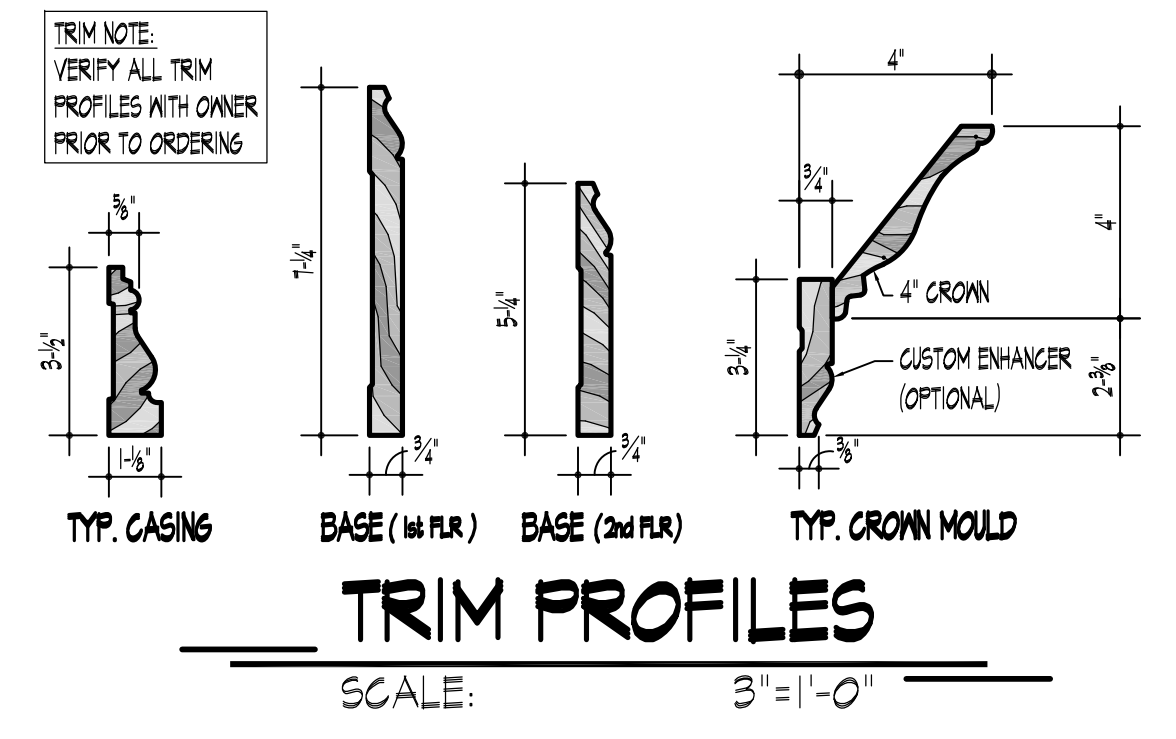
Project Number:	0024	Revisions:
Designed by:	MPB	ISSUED FOR OWNERS REVIEW
Drawn by:	MPB	ISSUED FOR PERMIT
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Scale:	AS NOTED	

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A4

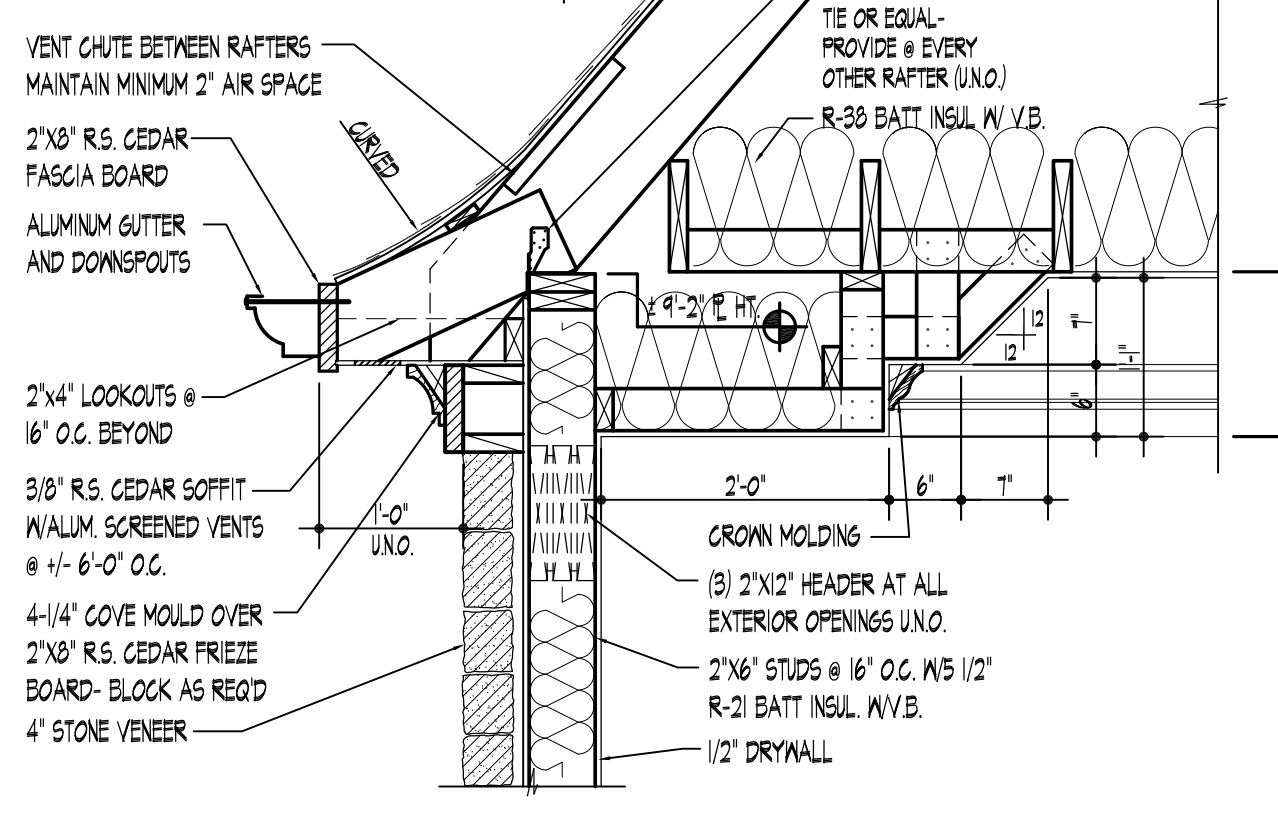


* 1st FLOOR HALLWAY *
INTERIOR ELEVATION
SCALE: 1/2"=1'-0"



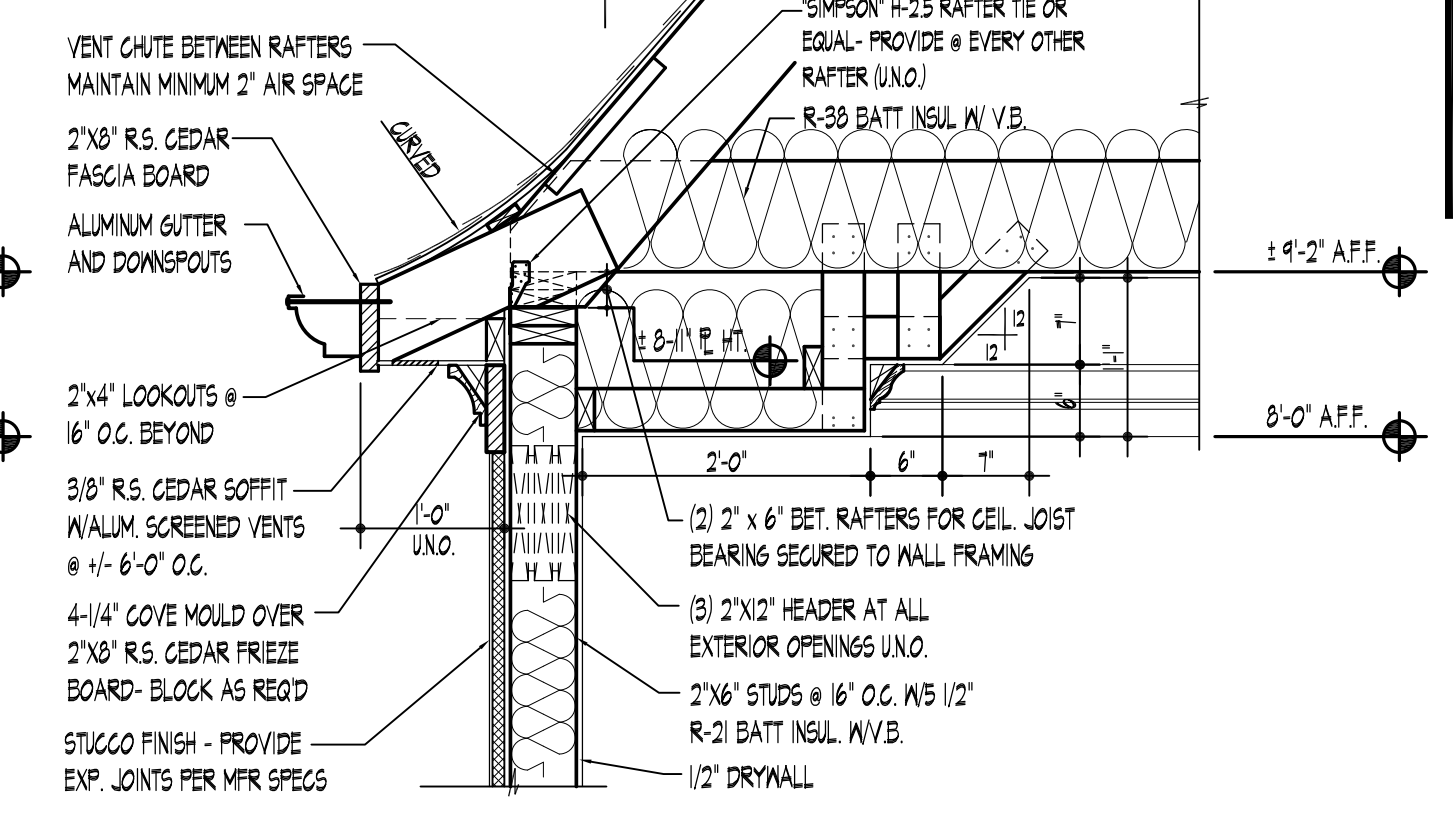
COFFER BEAM DETAIL
SCALE: 3/4"=1'-0"

TYP. ROOF CONST.
- ASPHALT SHINGLE ROOF ON ON 15# BUILDING FELT
- 1/2" CDX PLYWOOD ROOF SHEATHING
- 2"X ROOF RAFTERS AS PER PLAN
- 2"X CEIL JOISTS AS PER PLAN
- 12" R-38 BATT INSUL. N.V.B.
- 1/2" DRYWALL



* THRU BEDROOM #1 (STONE) *
SECT. THRU EAVE
SCALE: 3/4"=1'-0"

TYP. ROOF CONST.
- ASPHALT SHINGLE ROOF ON ON 15# BUILDING FELT
- 1/2" CDX PLYWOOD ROOF SHEATHING
- 2"X ROOF RAFTERS AS PER PLAN
- 2"X CEIL JOISTS AS PER PLAN
- 12" R-38 BATT INSUL. N.V.B.
- 1/2" DRYWALL



* THRU BEDROOM #1 (STUCCO) *
SECT. THRU EAVE
SCALE: 3/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

FLASHING NOTE:
ALL FLASHING TO BE THE FOLLOWING:
EXPOSED - COPPER
HIDDEN - GALVANIZED METAL

NOTE:
APPROX. LOCATION & PLACEMENT OF A/C UNITS - COORDINATE WITH HVAC CONT. & G.C. - PROVIDE CONC PAD - VERIFY IN G.C.

TOPOGRAPHICAL SITE DEVELOPMENT PLAN

EXISTING GRADE	+XXXX.XX
EXISTING CONTOUR	-XXX-
PROPOSED GRADE	+XXXX.XX
PROPOSED CONTOUR	-XXX-
PROPOSED FLOW	---
TREE PRESERVATION	-X-
SILT FENCE & CONSTRUCTION SAFETY FENCE	-XX--XX-

KEY:	
T/F =	TOP OF FOUNDATION
P.T.F. =	PROPOSED TOP OF FOUNDATION

PARCEL 2 LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A MEASURED DISTANCE OF 721.71 FEET (721 FEET RECORD) FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 110.45 FEET; THENCE NORTH 87 DEGREES 59 MINUTES 25 SECONDS EAST A DISTANCE OF 180.93 FEET; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 167.53 FEET; THENCE NORTHWEST AND PARALLEL TO THE CENTERLINE OF SPRING ROAD, A DISTANCE OF 189.75 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

IMPERVIOUS DATA TABLE

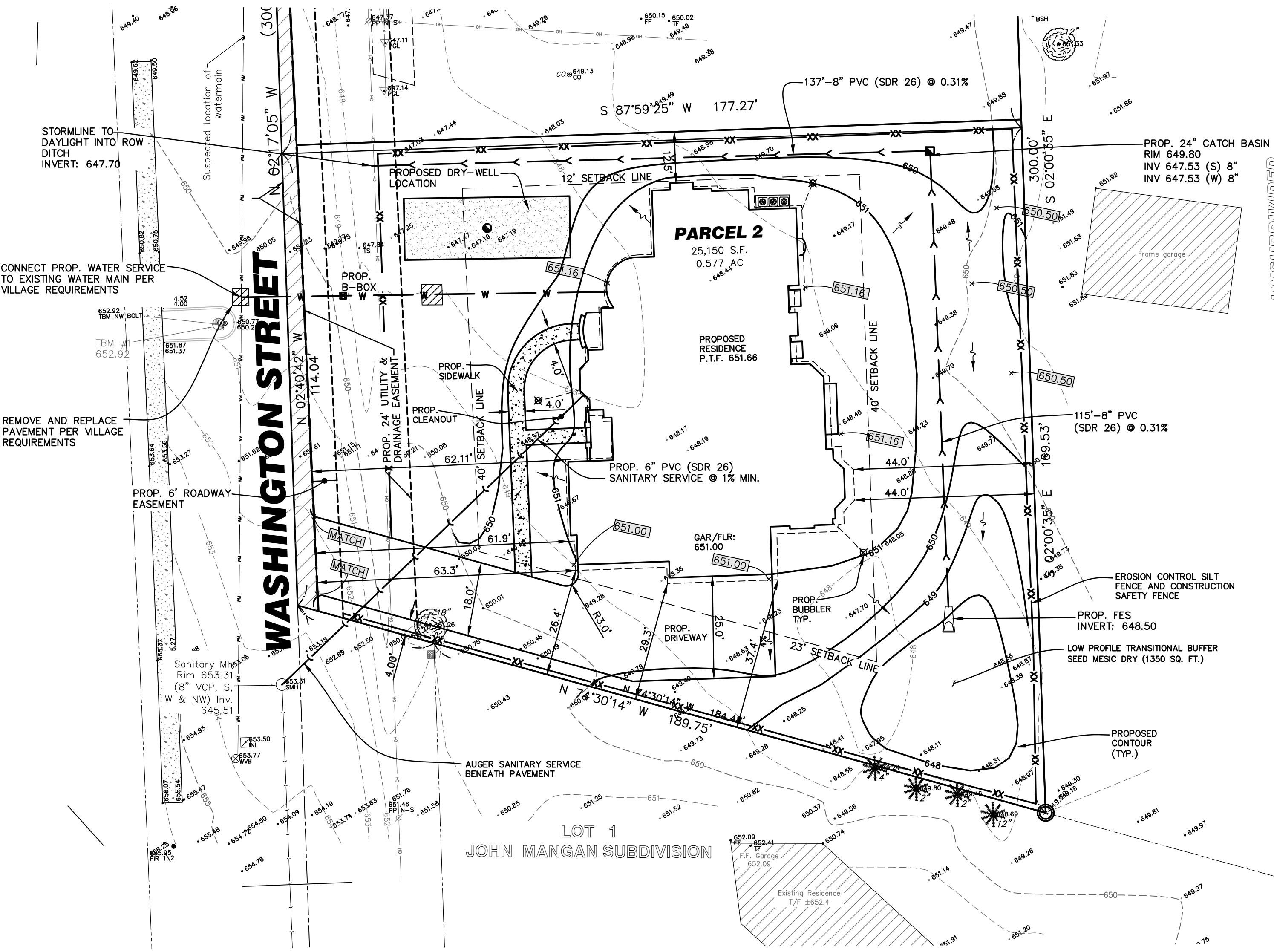
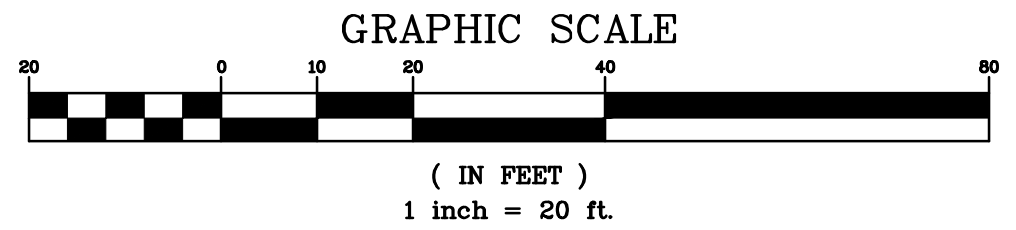
EXISTING IMPERVIOUS		PROPOSED IMPERVIOUS	
FRAME BARN:	540 S.F.	RESIDENCE:	4,621 S.F.
FRAME SHED:	194 S.F.	DRIVEWAY:	2,390 S.F.
TOTAL:	734 S.F.	SIDEWALK:	320 S.F.
		PORCH:	102 S.F.
		REAR STOOP:	37 S.F.
		TOTAL:	7,470 S.F.

VCBMP REQUIREMENTS:

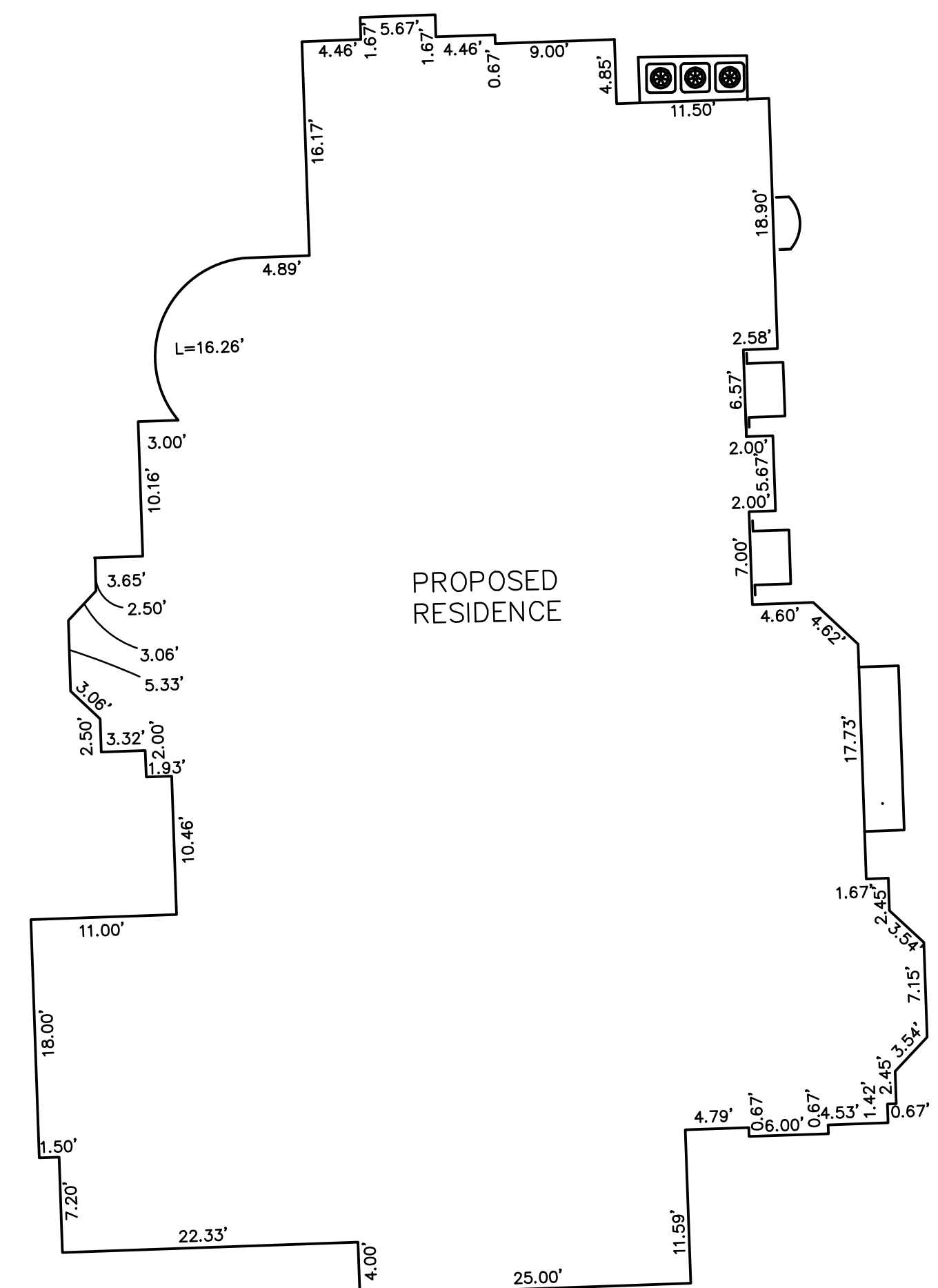
NET NEW IMPERVIOUS = 7,491 S.F. - 734 S.F. = 6,757 S.F.
SINCE 7,491 S.F. > 2,500 S.F. A BMP IS REQUIRED FOR THE PROJECT

BMP CALCULATIONS:

$(1.25/12) \times 7,470 \text{ S.F.} = 778 \text{ CF STORAGE REQUIRED}$
BMP: 15' L X 40.5' W X 4' D X 36% AIR VOID = 875 CF
875 CF > 778 CF



- DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE VILLAGE CODE OF OAK BROOK RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1.0" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS.
- SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING WHITE OAK LANE EDGE OF PAVEMENT. DEWATERING DISCHARGE MUST BE FILTERED BEFORE ENTERING WASHINGTON STREET R.O.W.
- CONSTRUCTION SCHEDULE:
 - SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - SPRING 2026
 - RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES, & EXISTING SWALES. - SPRING 2026
 - CONSTRUCT PROPOSED RESIDENCE & IMPROVEMENTS. - SPRING 2026
 - PREPARE AND SUBMIT RECORD DRAWINGS. - WINTER 2026
 - LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. - WINTER 2026
- CONTACT PERSON FOR SITE: MICHAEL SAHJI (630) 310-8668
- PARKING DATA: MAXIMUM CONTRACTOR VEHICLES: 4. PARKING SHALL BE ON THE EAST SIDE OF WASHINGTON STREET.
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE WEST OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH INDIVIDUAL UTILITY COMPANIES.
- PUMPING SEDIMENT-LADEN WATER INTO ANY STORM SEWER FACILITY NOT DESIGNED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- IF THE SOIL STOCKPILE IS TO REMAIN IN PLACE FOR GREATER THAN THREE DAYS, THEN SOIL & SEDIMENT CONTROL MEASURES WILL BE PROVIDED.
- SOIL STOCKPILES SHALL NOT BE LEFT OVERNIGHT IN DITCHES OR WITHIN FLOODPLAINS.
- LAND DISTURBANCE ACTIVITIES IN STREAMS AND DITCHES SHALL BE AVOIDED WHERE POSSIBLE.
- ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- ANY DEVIATION FROM THIS APPROVED PLAN SHALL REQUIRE PRIOR WRITTEN APPROVAL FROM THE VILLAGE OF OAK BROOK.



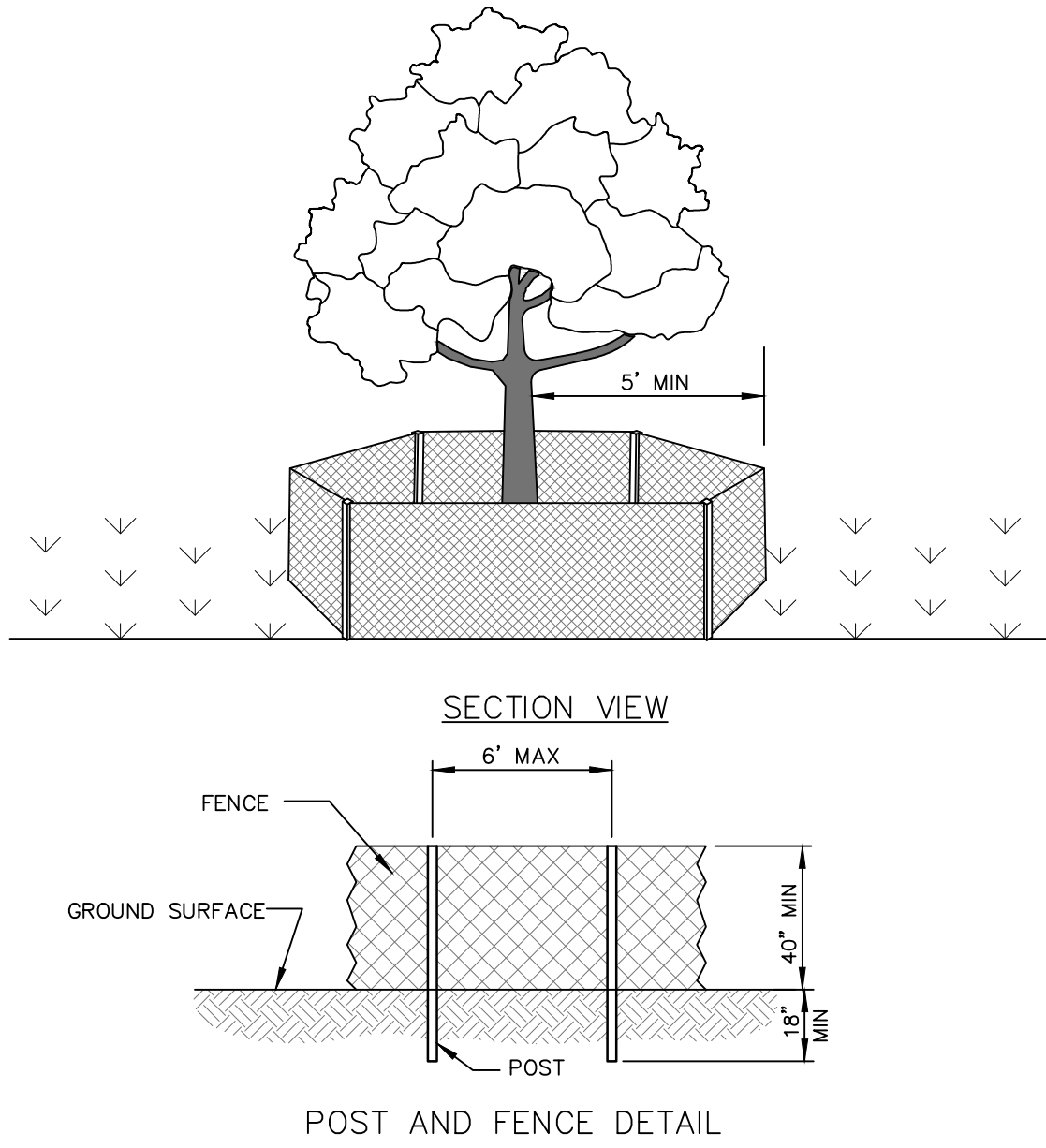
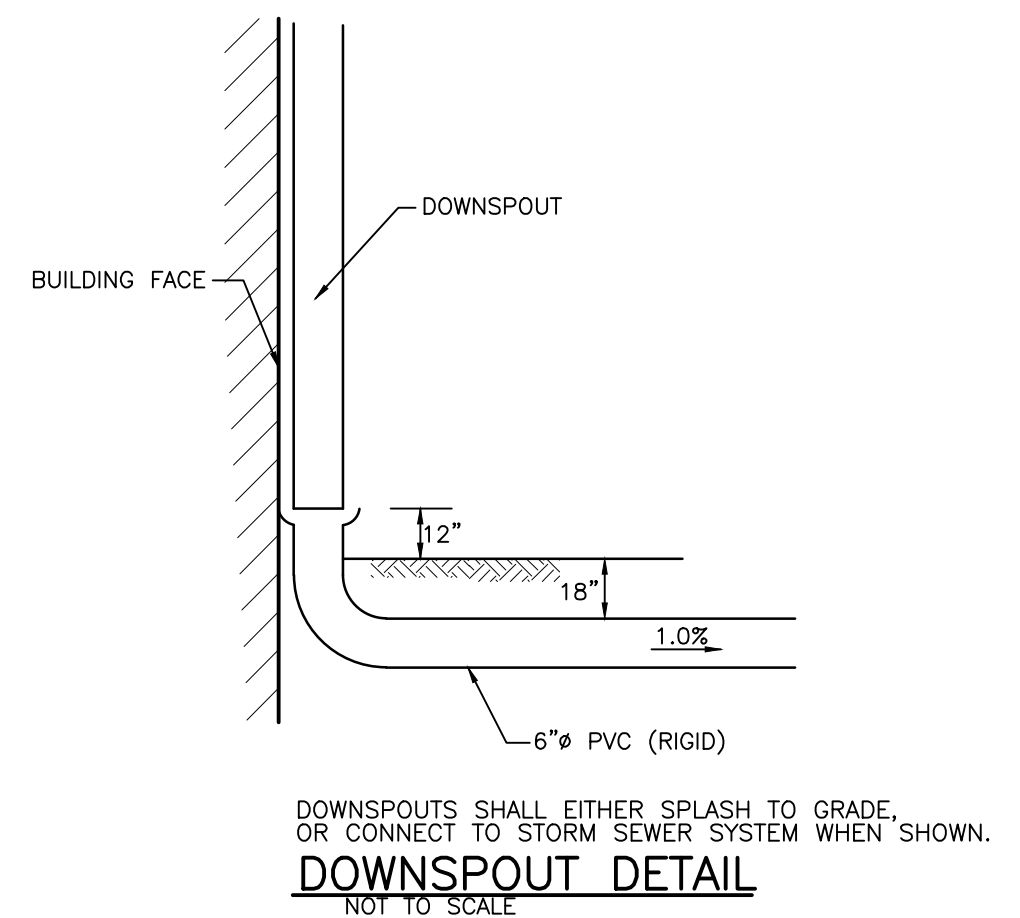
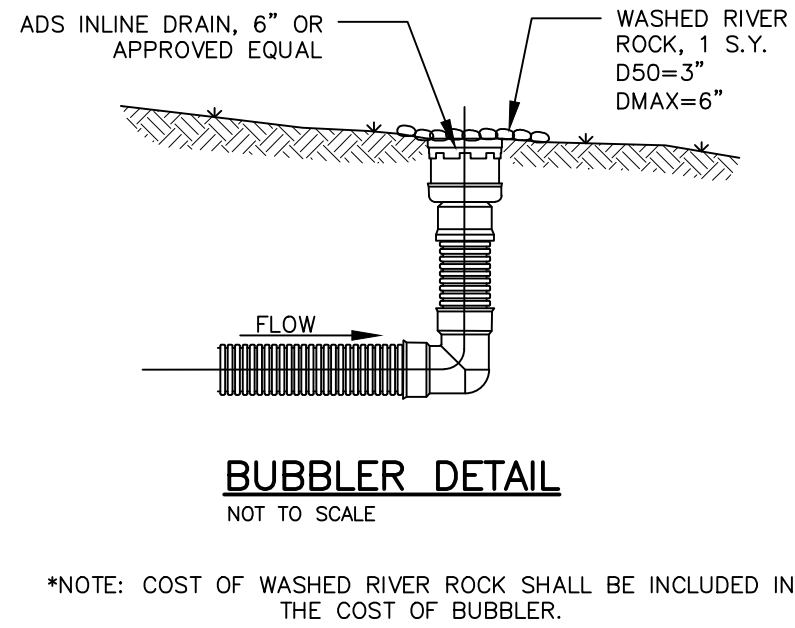
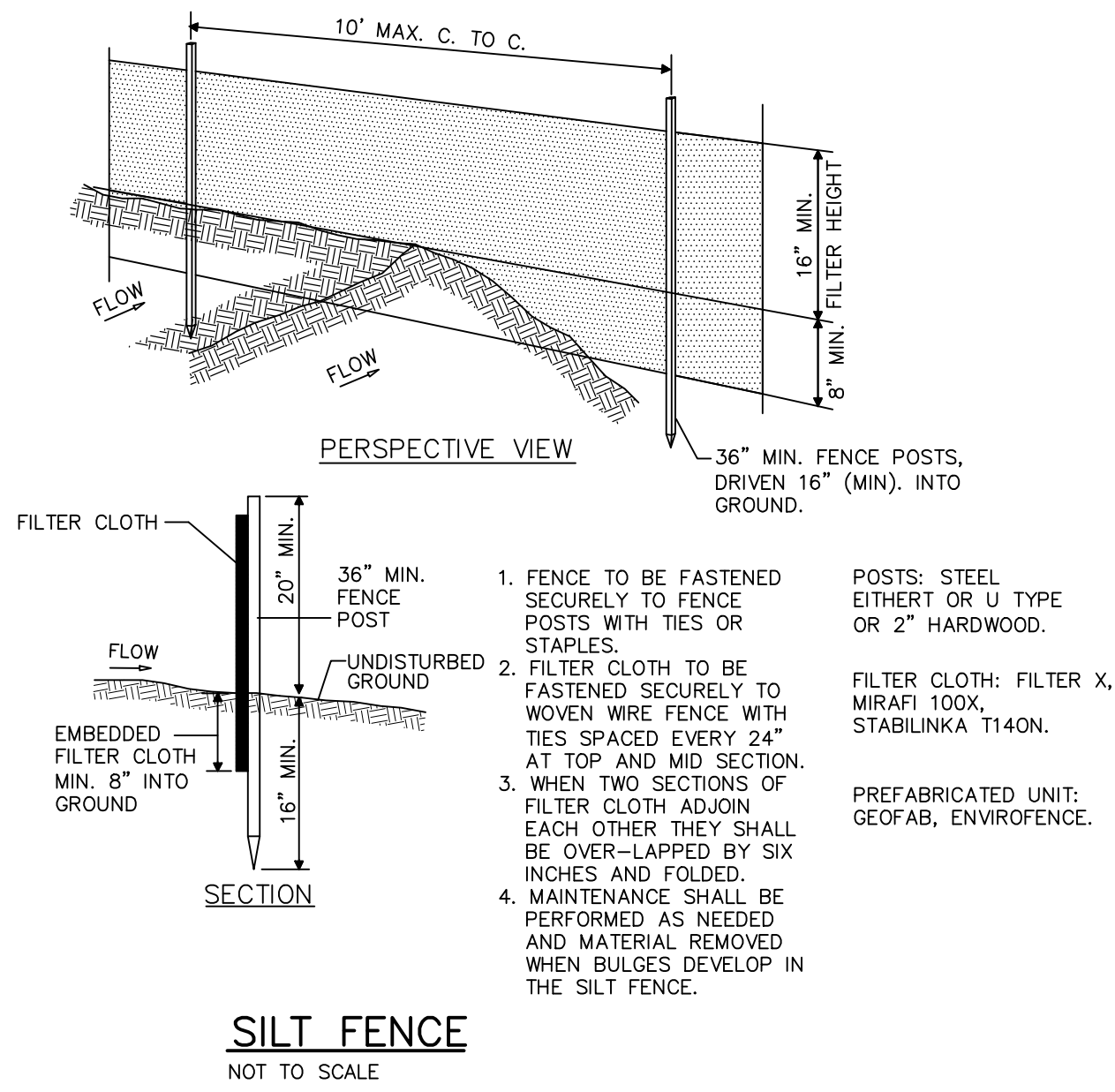
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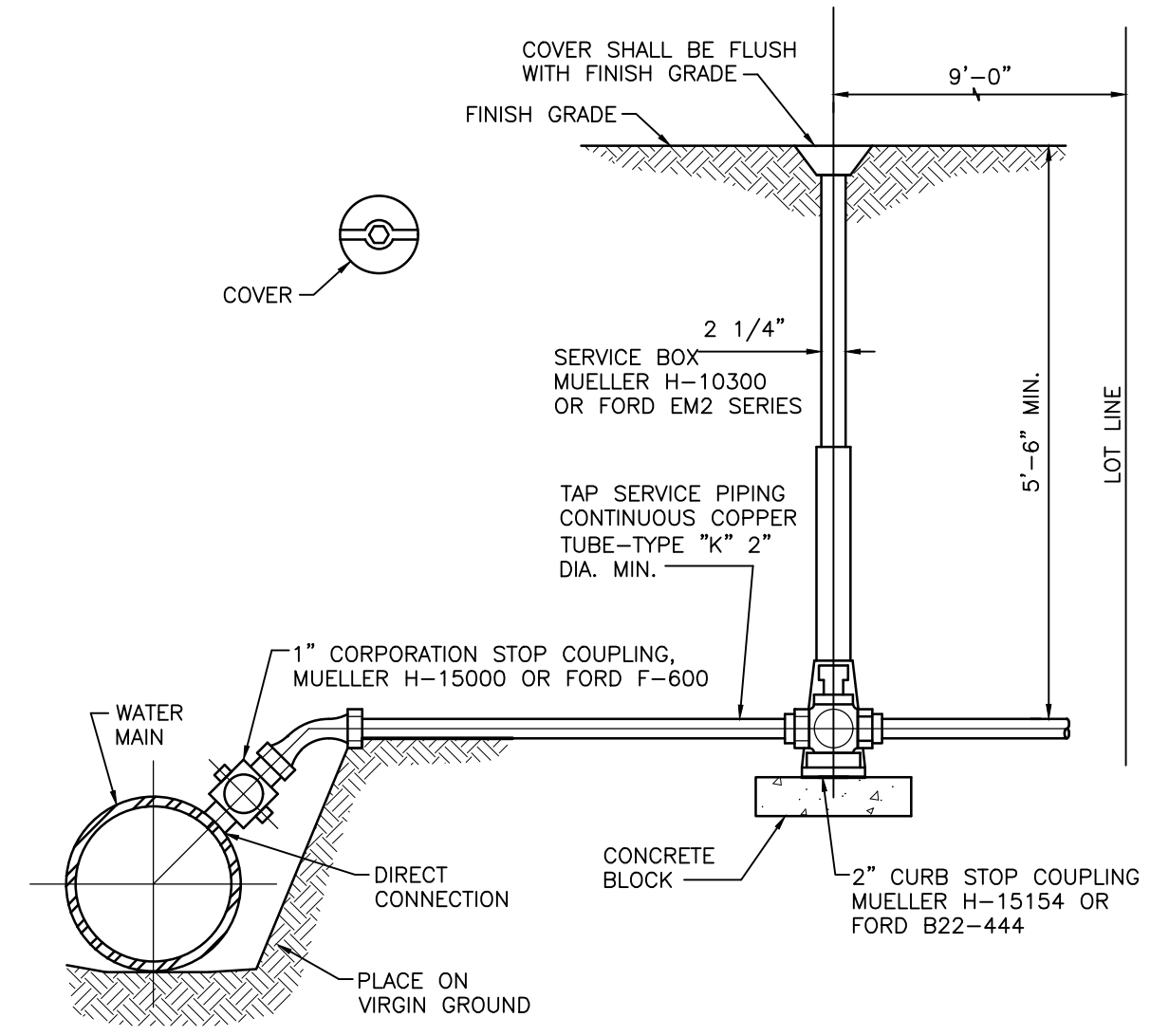
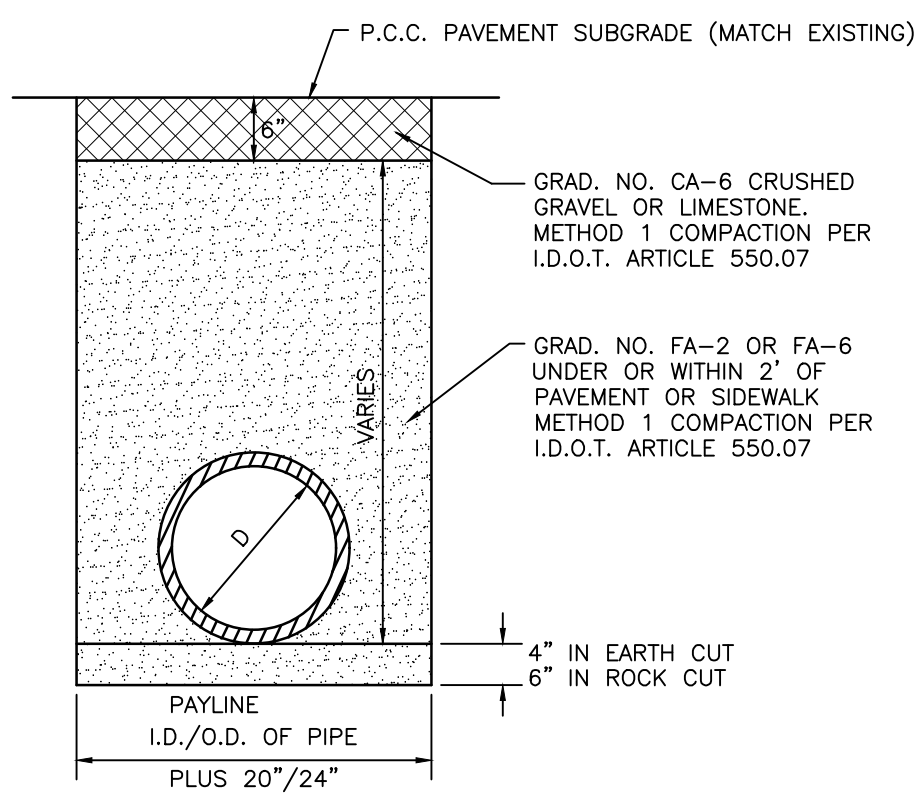
ILLINOIS ONE-CALL SYSTEM

Jon P. Green, P.E.
IL. P.E. NO. 062-052108
Expires November 30, 2027

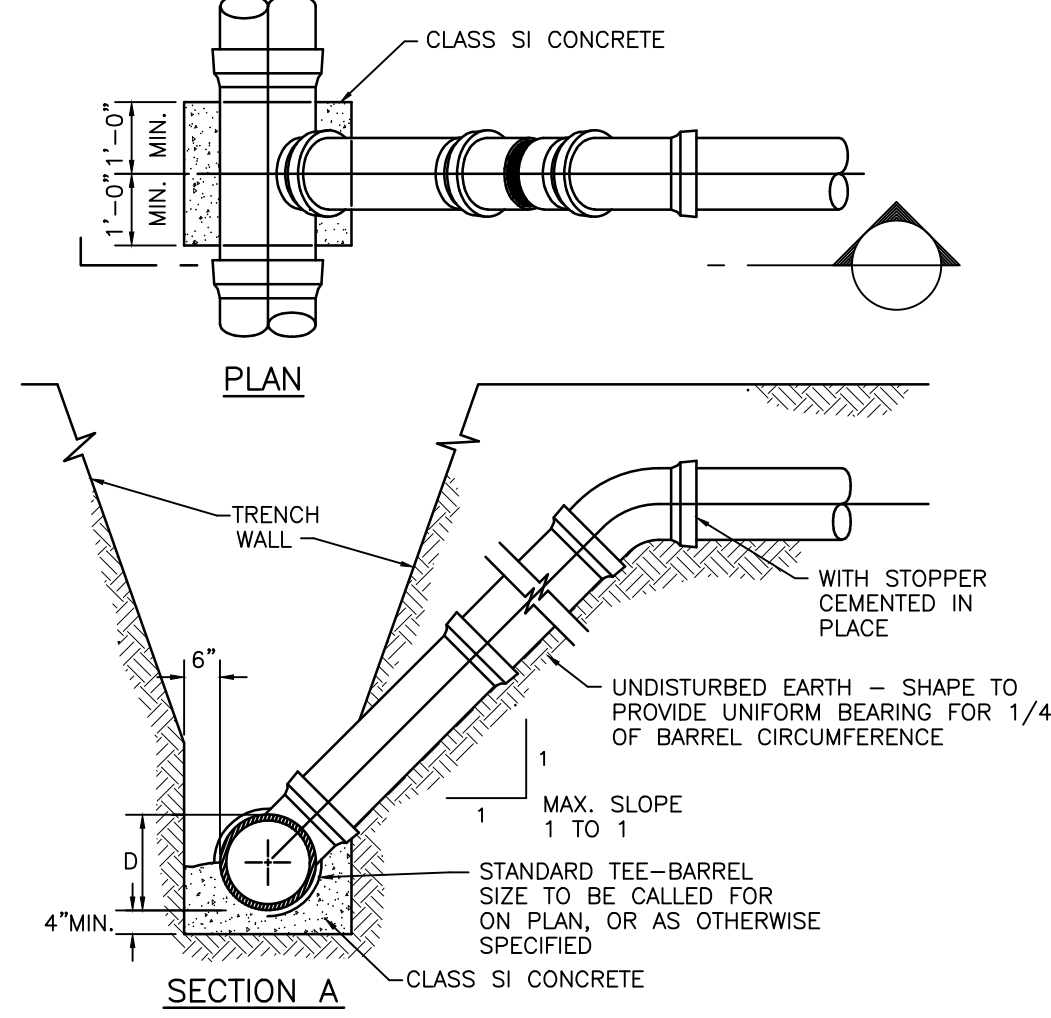
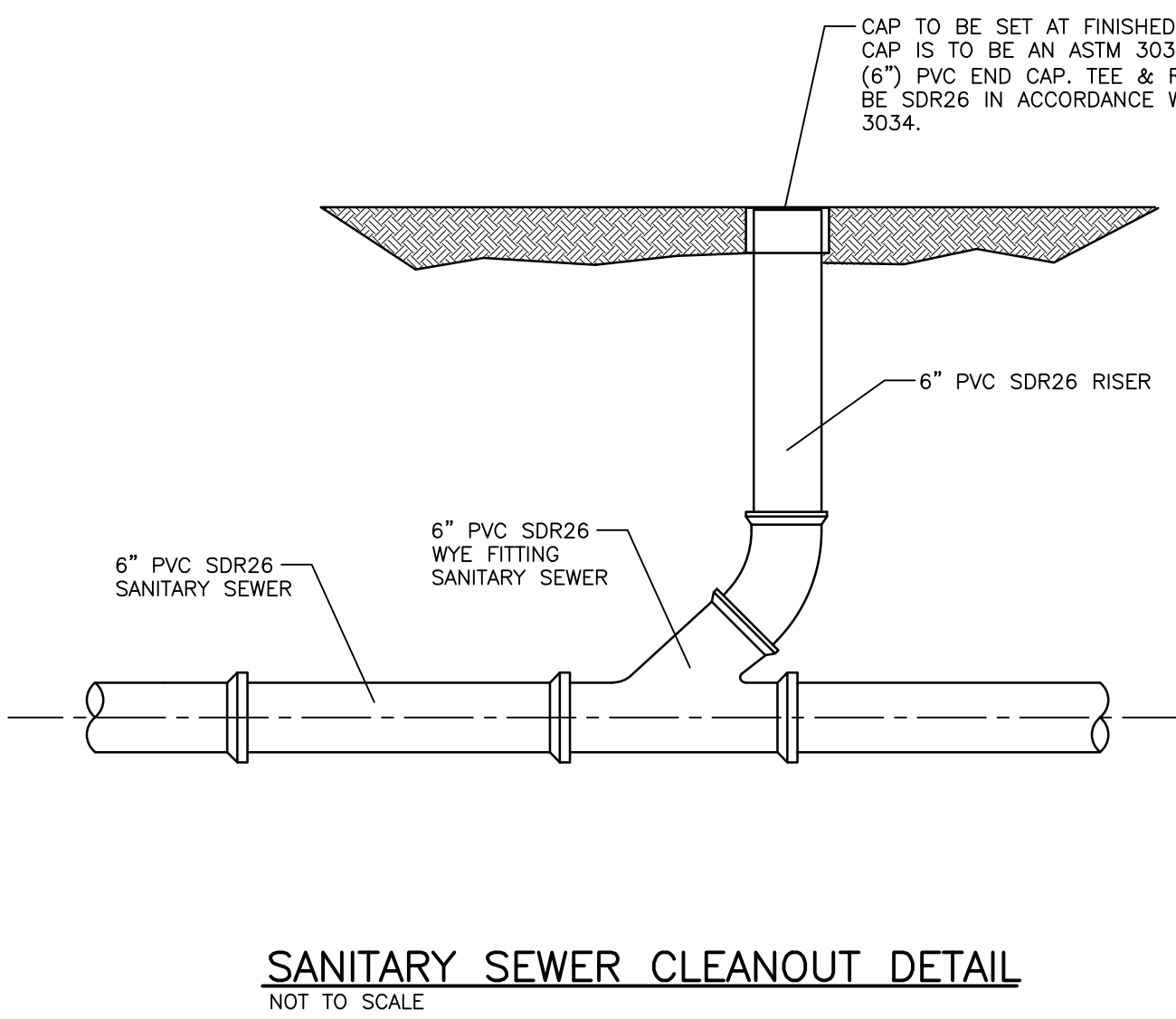


- NOTES:**
- THE FENCE SHALL BE LOCATED A MINIMUM OF 1 FOOT OUTSIDE THE DRIP LINE OF THE TREE TO BE SAVED AND IN NO CASE CLOSER THAN 5 FEET TO THE TRUNK OF ANY TREE.
 - FENCE POSTS SHALL BE EITHER STANDARD STEEL POSTS OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQ. IN.
 - THE FENCE MAY BE EITHER 40" HIGH SNOW FENCE, 40" PLASTIC WEB FENCING OR ANY OTHER MATERIAL AS APPROVED BY THE PROJECT MANAGER.

TREE PROTECTION
NOT TO SCALE



WATER SERVICE TAP
NOT TO SCALE



- NOTES:**
- THE OPEN ENDS OF LATERAL SHALL BE PROTECTED WITH POLYESTER COVER.
 - MAXIMUM SLOPE SHALL BE USED LESS THAN 1 TO 1 WHEN IT IS NECESSARY TO SECURE BEDDING IN UNDISTURBED EARTH.
 - STAKES SHALL BE USED IF NECESSARY TO HOLD LATERAL IN PLACE.
 - CONCRETE ENCASUREMENT SHALL BE INCIDENTAL TO THE SERVICE.
 - SEWER SERVICE SHALL BE LOCATED NEAR THE CENTER OF THE LOT, 10 FEET FROM THE WATER SERVICE B-BOX.

RISER FOR SANITARY SERVICE LATERAL
NOT TO SCALE

LANDSCAPE PLAN

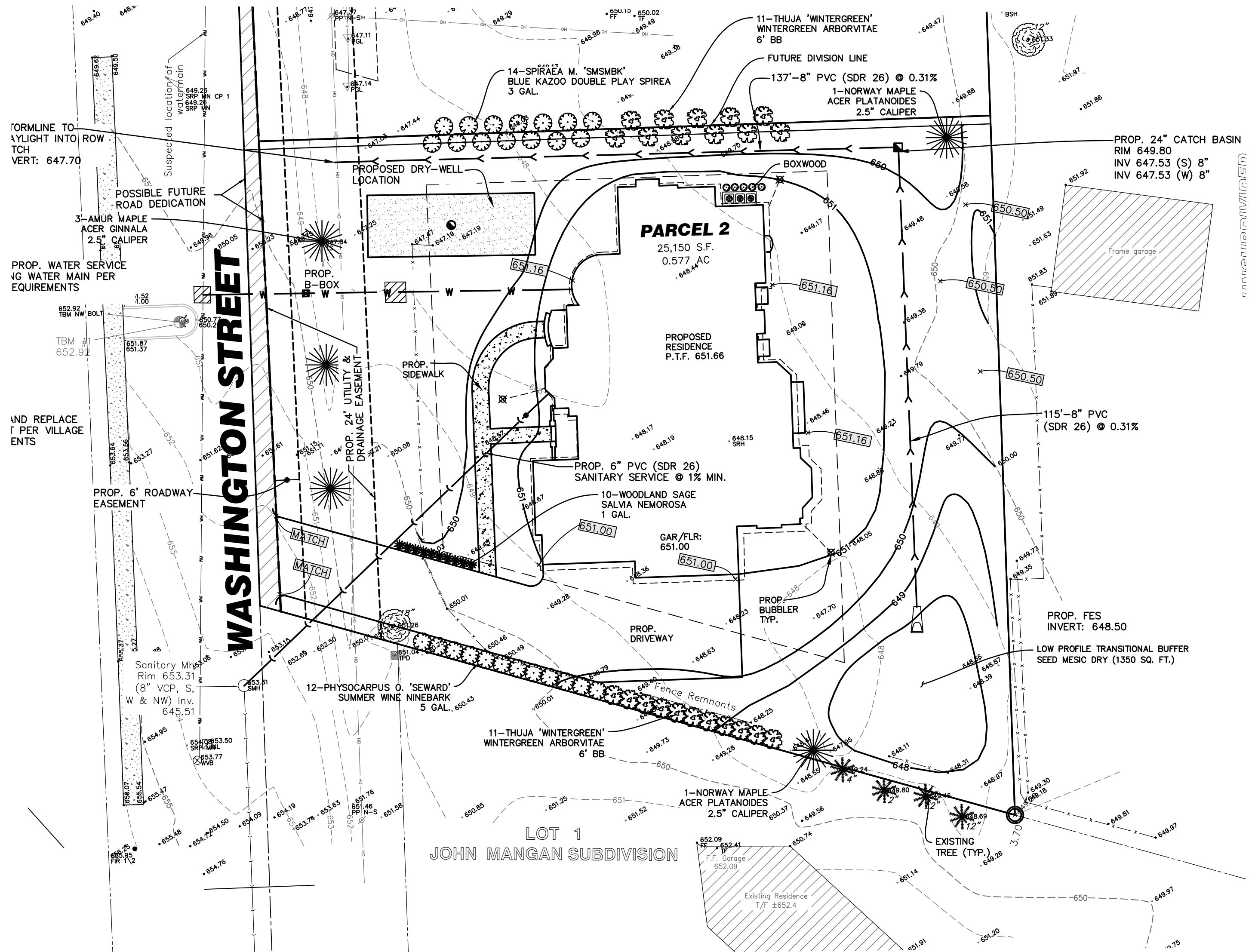
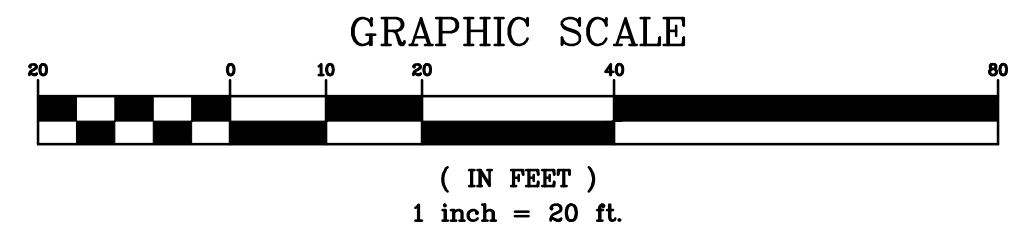
EXISTING GRADE	+XXXX.XX
EXISTING CONTOUR	---XX---
PROPOSED GRADE	+XXXX.XX
PROPOSED CONTOUR	---XX---
PROPOSED FLOW	---
TREE PRESERVATION	---
SILT FENCE & CONSTRUCTION SAFETY FENCE	---XX---XX---

KEY:
 T/F = TOP OF FOUNDATION
 P.T.F. = PROPOSED TOP OF FOUNDATION

PARCEL 2 LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A MEASURED DISTANCE OF 721.71 FEET (721 FEET RECORD) FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 110.45 FEET; THENCE NORTH 87 DEGREES 59 MINUTES 25 SECONDS EAST A DISTANCE OF 180.93 FEET; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 167.53 FEET; THENCE NORTHWEST AND PARALLEL TO THE CENTERLINE OF SPRING ROAD, A DISTANCE OF 189.75 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.



GENERAL NOTES:

Contractor is responsible for verification of underground utility lines and is responsible for any damage occurring as a product of his work.

Contractor shall maintain clear and open access to the vehicular and pedestrian entrances to and from the property during all periods of work.

Contractor is responsible for verification of all existing conditions in the field prior to bidding and construction and shall notify the Landscape Architect and/or Owner of any variances.

Contractor is responsible for acquisition and payment for all permits, fees and inspections necessary for the proper execution of this work and for compliance with all codes applicable to this work.

Contractor shall protect the property and is directly responsible for all damages caused by his work and for daily removal of all trash and debris from his work area to the satisfaction of the Landscape Architect and/or the Owner.

Material quantities are shown only for the convenience of the Contractor. The Contractor is responsible for verification of all materials and supplies in sufficient quantity to complete the job per plan.

All work shall conform to American Nursery & Landscape Association 2004 edition of the American Standard for Nursery Stock, State of Illinois Horticultural Standards and local municipal requirements.

All plant material installation shall be as detailed on these Drawings.

LANDSCAPE PLANTING NOTES:

All pruning work shall be performed only with hand pruners.

All deciduous plant material shall be thin pruned to remove 1/4 interior branches, dead branches and broken branches. Pruning shall compliment the plants natural form. Absolutely no tip pruning is allowed, except for hedges as noted on the Drawing. Any plant that is tip pruned is subject to rejection by the Landscape Architect and/or Owner.

The Landscape Architect and/or Owner reserves the right to inspect trees and shrubs either at the place of growth or at the site prior to planting for compliance with requirements of variety, size and quality.

Planting beds shall be prepared with a 2" depth of mushroom compost and a 1" depth of calcined clay filled to an overall depth of 6"-9".

Prior to mulching, all individual trees, shrub beds and groundcover areas shall be treated with a pre-emergent herbicide, such as Snap-Shot®. All areas shall be free from weeds prior to herbicide application.

All shrub beds and individual proposed trees shall be mulched to a depth of 3" with finely shredded hardwood mulch.

All perennial planting beds shall be mulched to a depth of 2" with leaf compost. Mushroom compost may be substituted if leaf compost is unavailable.

Water trees, shrubs and groundcover beds within the first 12 hours of initial planting. Continue watering weekly or as needed until the end of the maintenance period.

Sod shall be Kentucky Bluegrass and is required in all areas as noted on the Drawings.

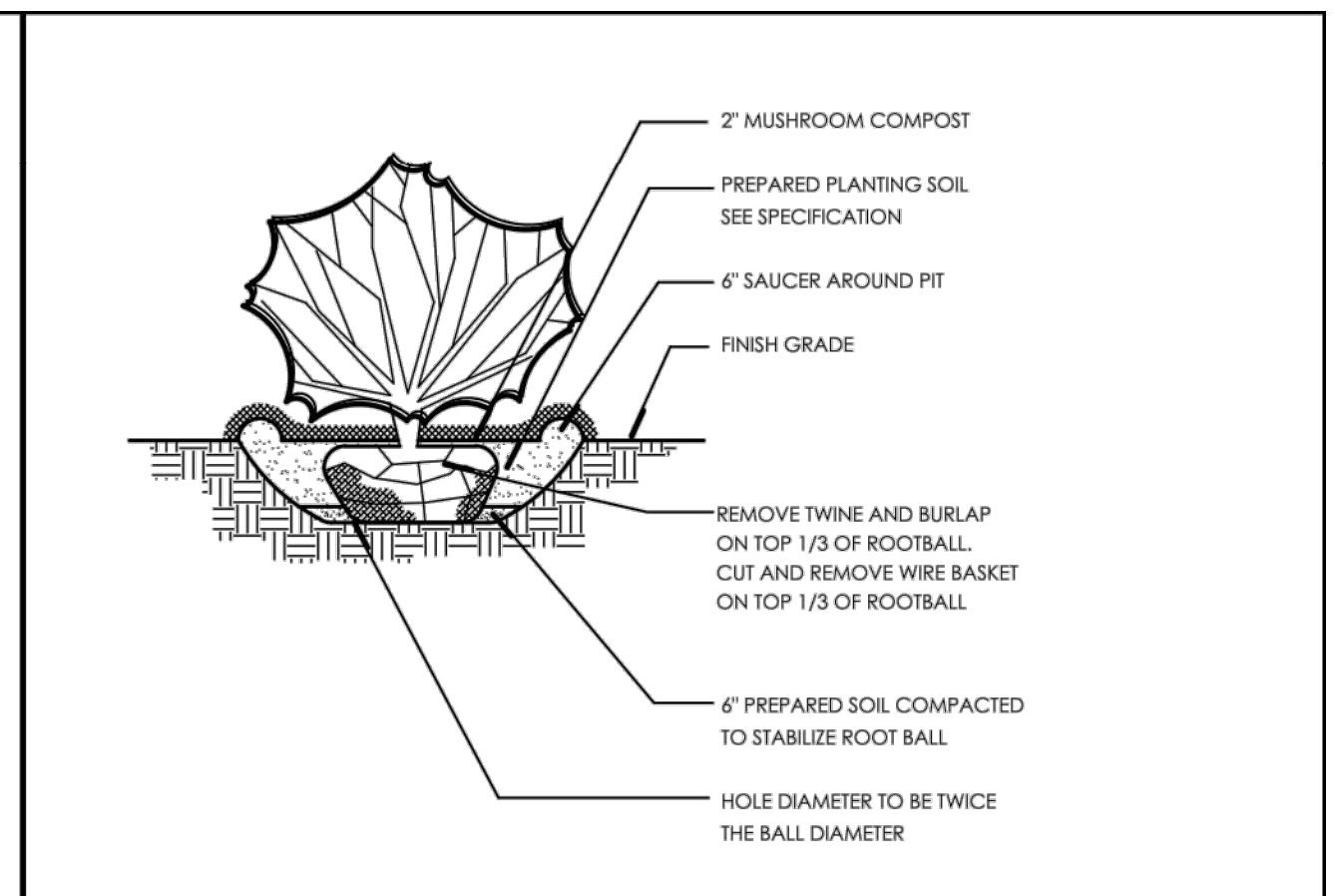
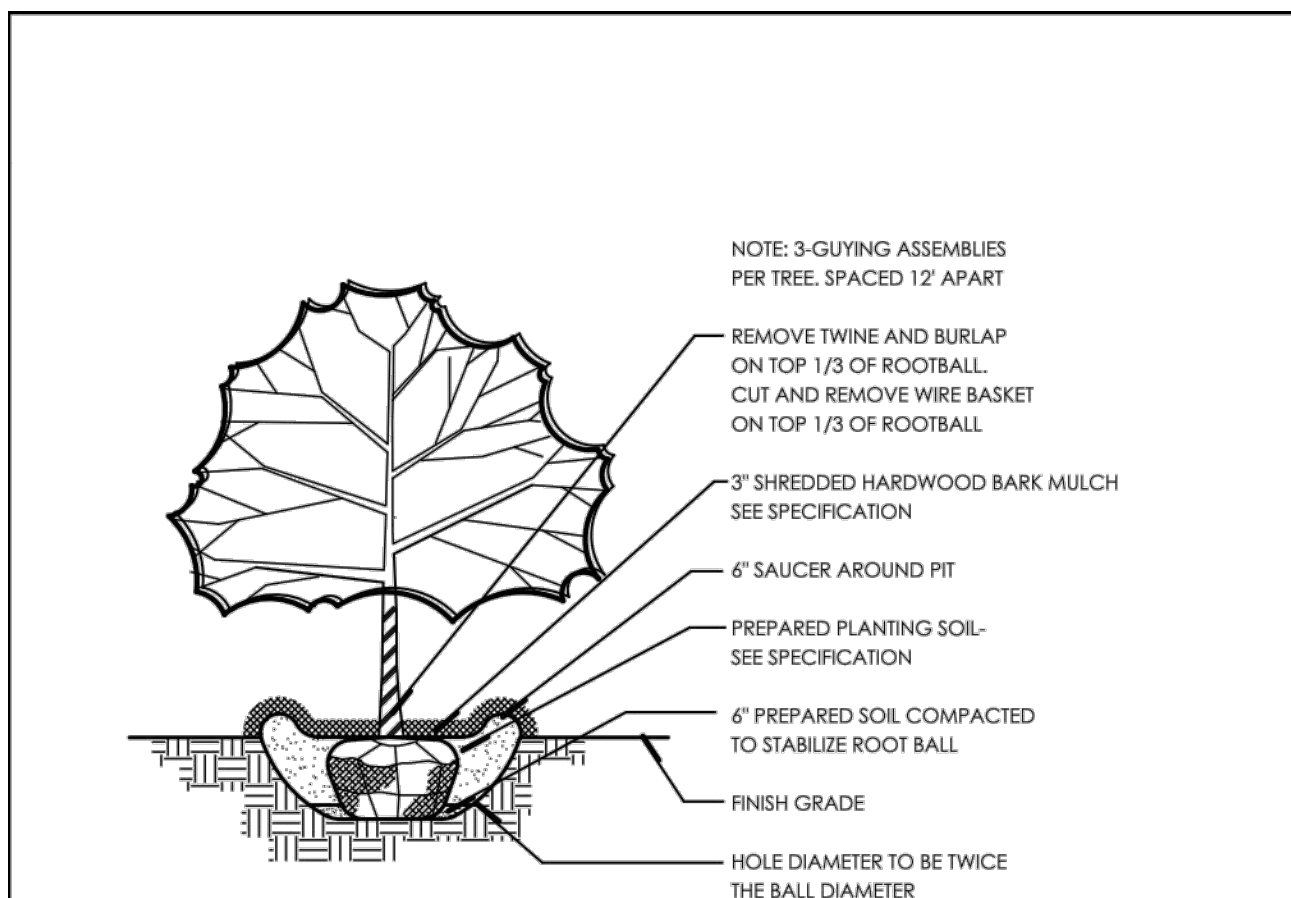
Seed shall be IDOT 1A Salt Tolerant Lawn mixture of the previous year's crop with 0.5% or less weed seed and 1.75% or less crop seed, by weight. Seed shall be dry and free of mold and delivered to the site in its original packaging.

Contractor shall maintain all planting under the contracted work for a period of no less than 90 days or until establishment of seeding, whichever is longer.

Maintenance operations shall include pruning, cultivating, weeding, resetting settled plants, application of pesticides if required and application of fertilizer as needed to insure proper establishment of planting and lawns.

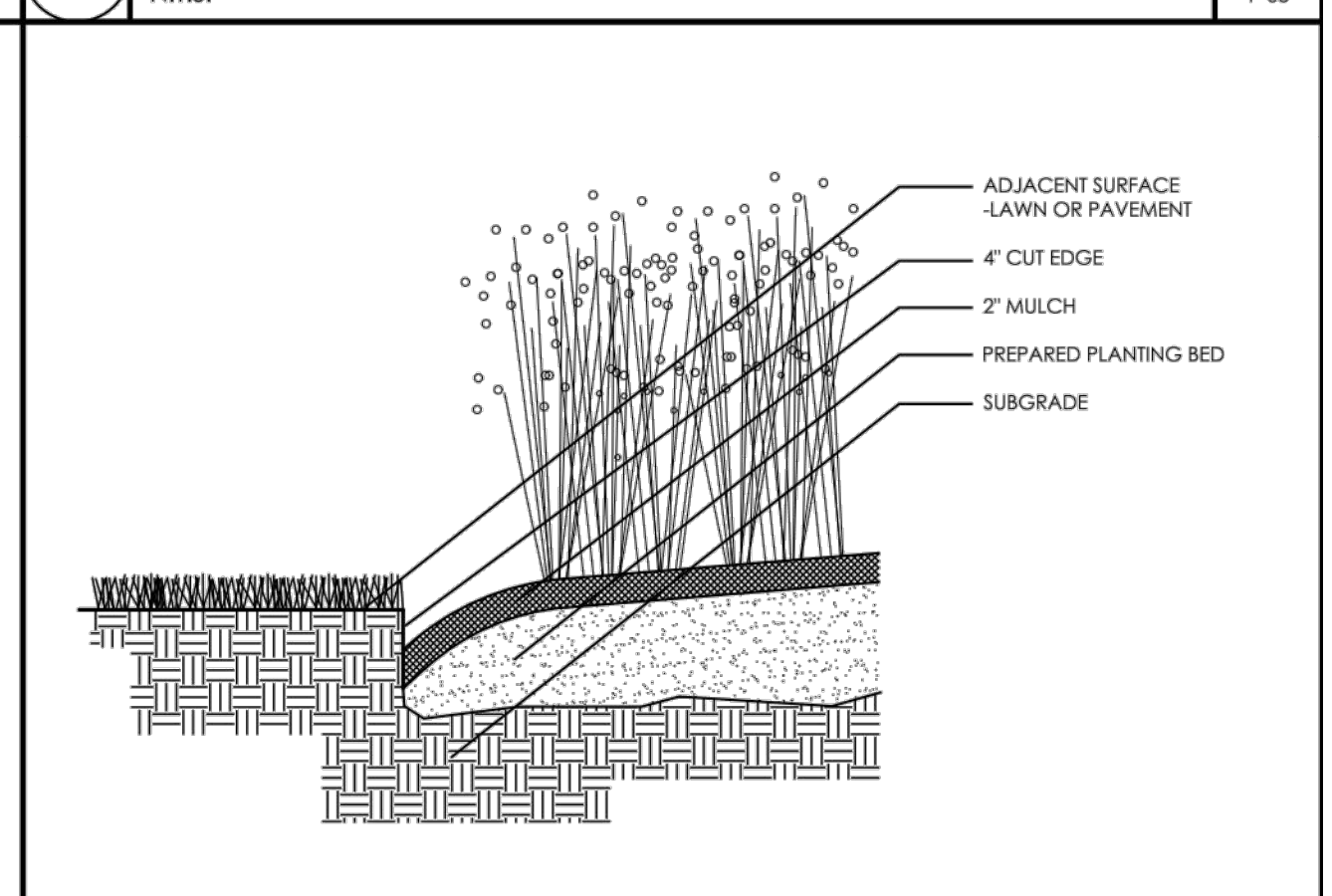
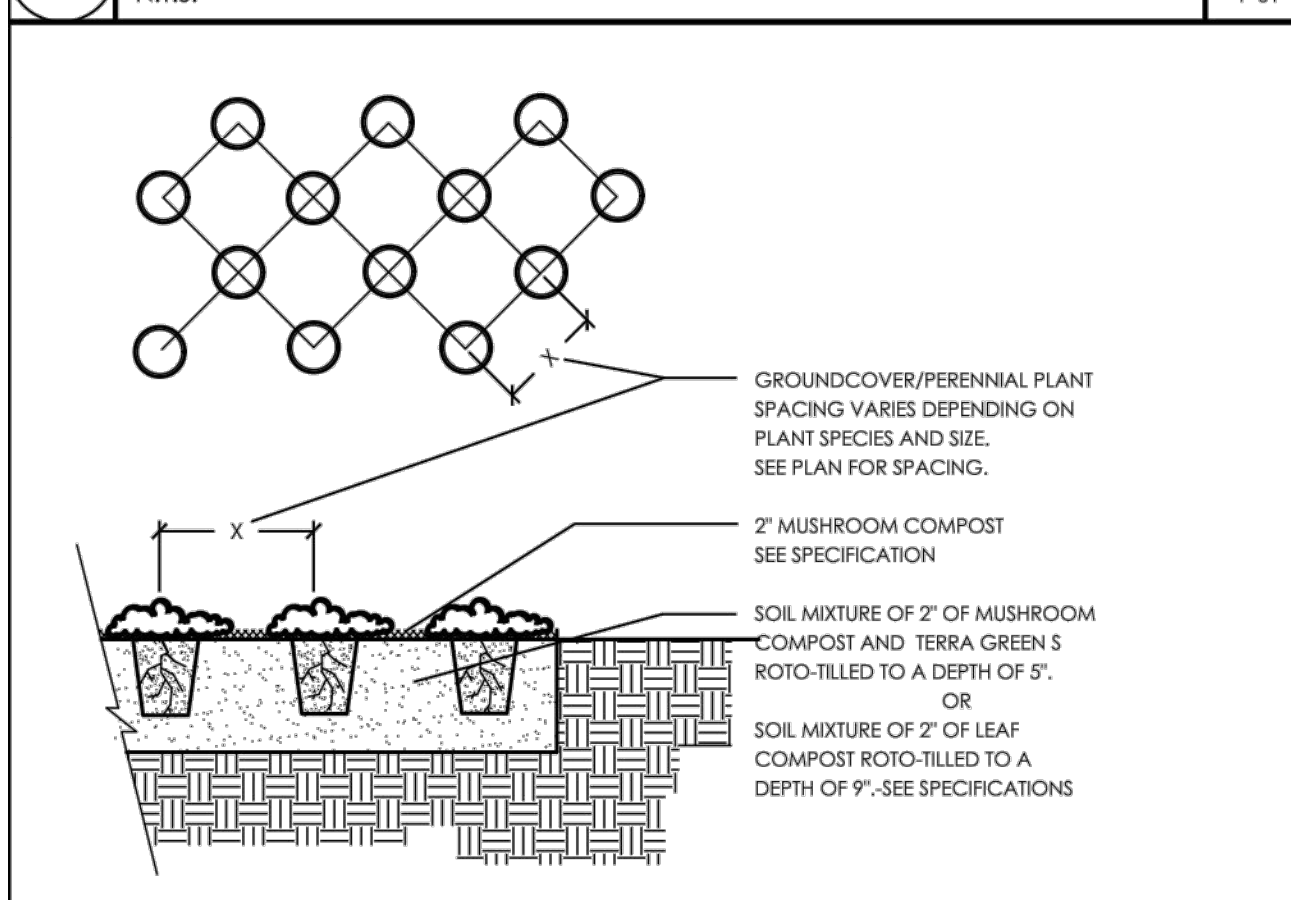
NOTE:

1. ALL LAWN AREA SHALL BE RESTORED WITH 4" TOPSOIL AND SOD.



C SHADE TREE PLANTING DETAIL 09/11/96
N.T.S. P-01

D SHRUB PLANTING DETAIL 09/11/96
N.T.S. P-03



E PERENNIAL PLANTING DETAIL 01/25/96
N.T.S. P-04

F SPADED PLANTING BED EDGE XX/XX/XX
N.T.S. P-04.2

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PREPARED FOR: SEIBUILDERS PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

DRAWN BY: B.L.	ENGINEERING RESOURCE ASSOCIATES	35701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555 PHONE (630) 393-3060 FAX (630) 393-2152	10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6099	2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902	PREPARED FOR: SEI BUILDERS, INC. 17W300 22ND STREET, SUITE 200 OAKBROOK TERRACE, IL 60181	TITLE: LANDSCAPE PLAN 3715 SPRING ROAD OAKBROOK, ILLINOIS	SCALE: 1"=20' DATE: 04/17/2026 JOB NO: 161107
CHECKED BY: J.G.							
APPROVED BY: J.G.							SHEET 2 of 3

G:\PROJETS\SEIBUILDERS\161107\200 3715SpringRoadOakbrook\CAD\161107 Lot 2 Site Plan2026-04-17.rvt Updated by: bierich 4/17/2026

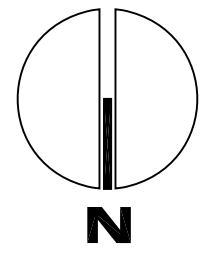
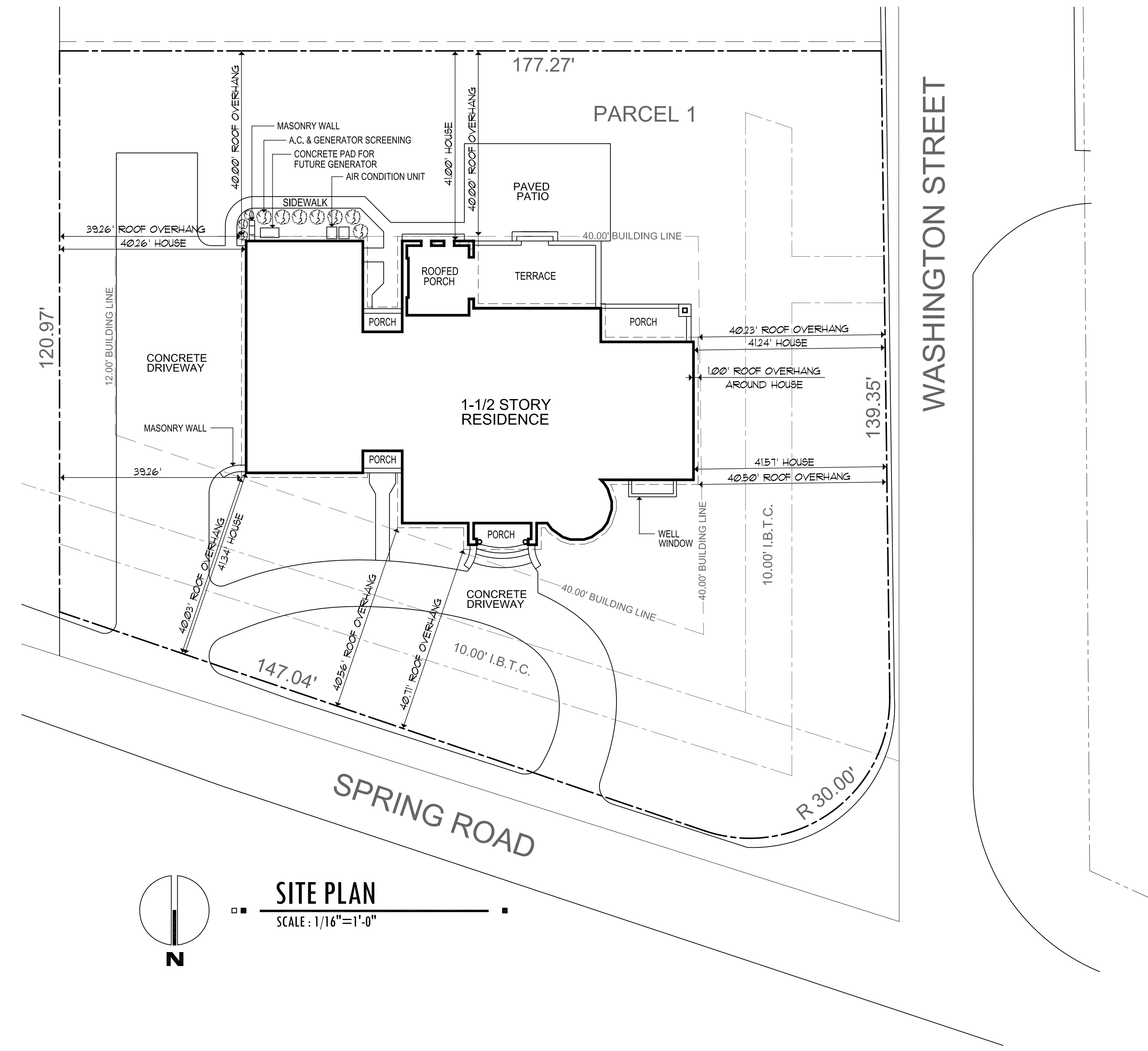


SINGLE FAMILY RESIDENCE

OAK BROOK, IL

MAREK SALAMON DESIGN, INC.

LOT AREA: 26,543 S.F.
 MAXIMUM F.A.R. (0.40): 10,617.2 S.F.
 PROPOSED F.A.R.: 7,773.0 S.F.
 1ST FLOOR: 2,850.8 S.F.
 2ND FLOOR: 2,954.7 S.F.
 GARAGE: 1,232.7 S.F.
 BONUS ROOM SPACE: 734.8 S.F.
 MAXIMUM LOT COVERAGE (PRINCIPLE STRUCTURE 0.2): 5,308.6 S.F.
 PROPOSED LOT COVERAGE (PRINCIPLE STRUCTURE 0.2): 2,850.8 S.F.
 1ST FLOOR: 2,850.8 S.F.
 MAXIMUM LOT COVERAGE (0.375): 9,953.6 S.F.
 PROPOSED LOT COVERAGE (0.375): 9,901.0 S.F.
 HOUSE: 4,083.5 S.F.
 COVER PORCH: 555.7 S.F.
 TERRACE: 397.7 S.F.
 SIDE DRIVEWAY: 2,471.0 S.F.
 FRONT DRIVEWAY: 1,288.9 S.F.
 SIDEWALK: 304.5 S.F.
 STAIRS: 68.0 S.F.
 WELL, AC, GENERATOR, MASONRY WALL, ETC.: 70.2 S.F.
 PATIO: 661.5 S.F.
 MAXIMUM HEIGHT: 40'-0"




SITE PLAN
 SCALE: 1/16"=1'-0"

REVISION :
JOB NO. 25 624
DATE: 11.8.2025
DESIGN BY: MS
DRAWING BY: MS
INSPECTED BY: PJM

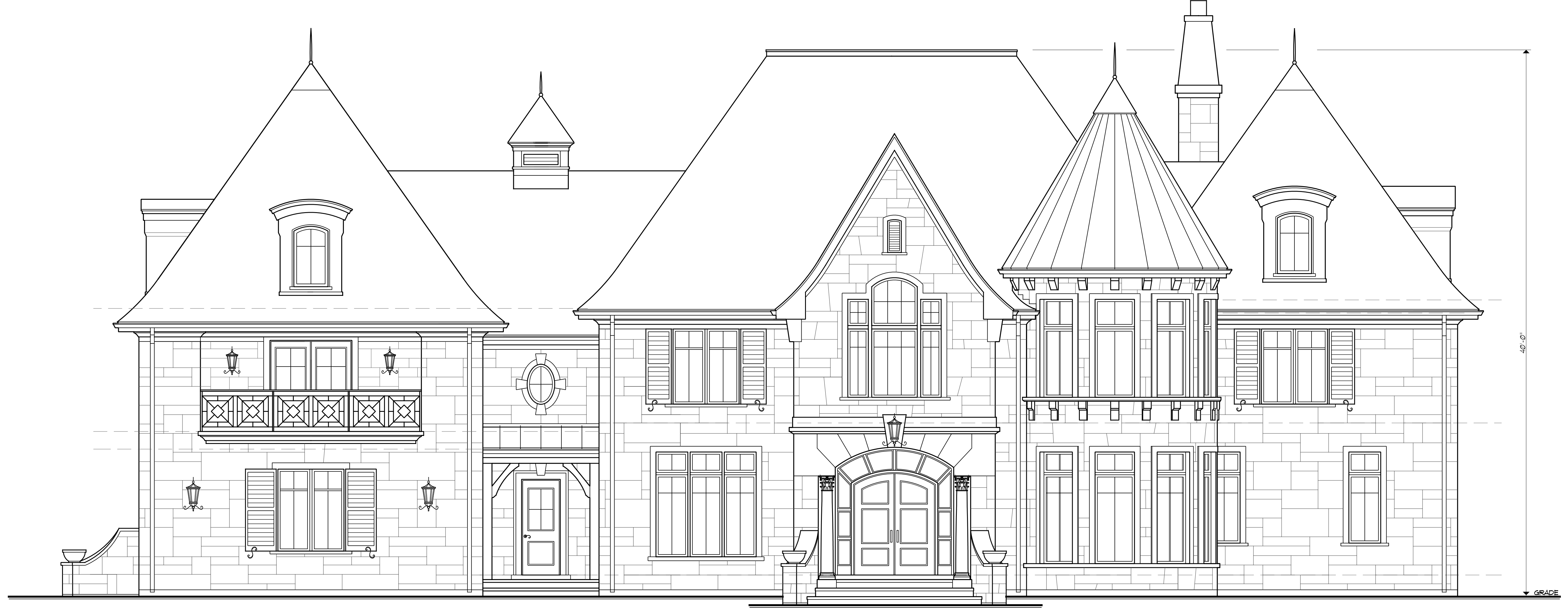
SINGLE FAMILY RESIDENCE
 NEW CONSTRUCTION
 3715 SPRING ROAD OAK BROOK, ILLINOIS

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NORTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

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SHEET NO. **A2** OF 5

SINGLE FAMILY RESIDENCE
 NEW CONSTRUCTION
 3715 SPRING ROAD OAK BROOK, ILLINOIS

REVISION :

JOB NO. 25-624
 DATE: 11.8.2025
 DESIGN BY: M.S.
 DRAWING BY: M.S.
 INSPECTED BY: P.J.M.



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

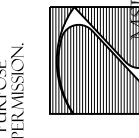


EAST ELEVATION
SCALE: 1/4"=1'-0"

REVISION :
JOB NO. 25 624
DATE: 11.8.2025
DESIGN BY: M.S.
DRAWING BY: M.S.
INSPECTED BY: P.J.M.

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
3715 SPRING ROAD OAK BROOK, ILLINOIS

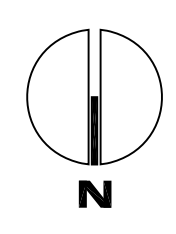
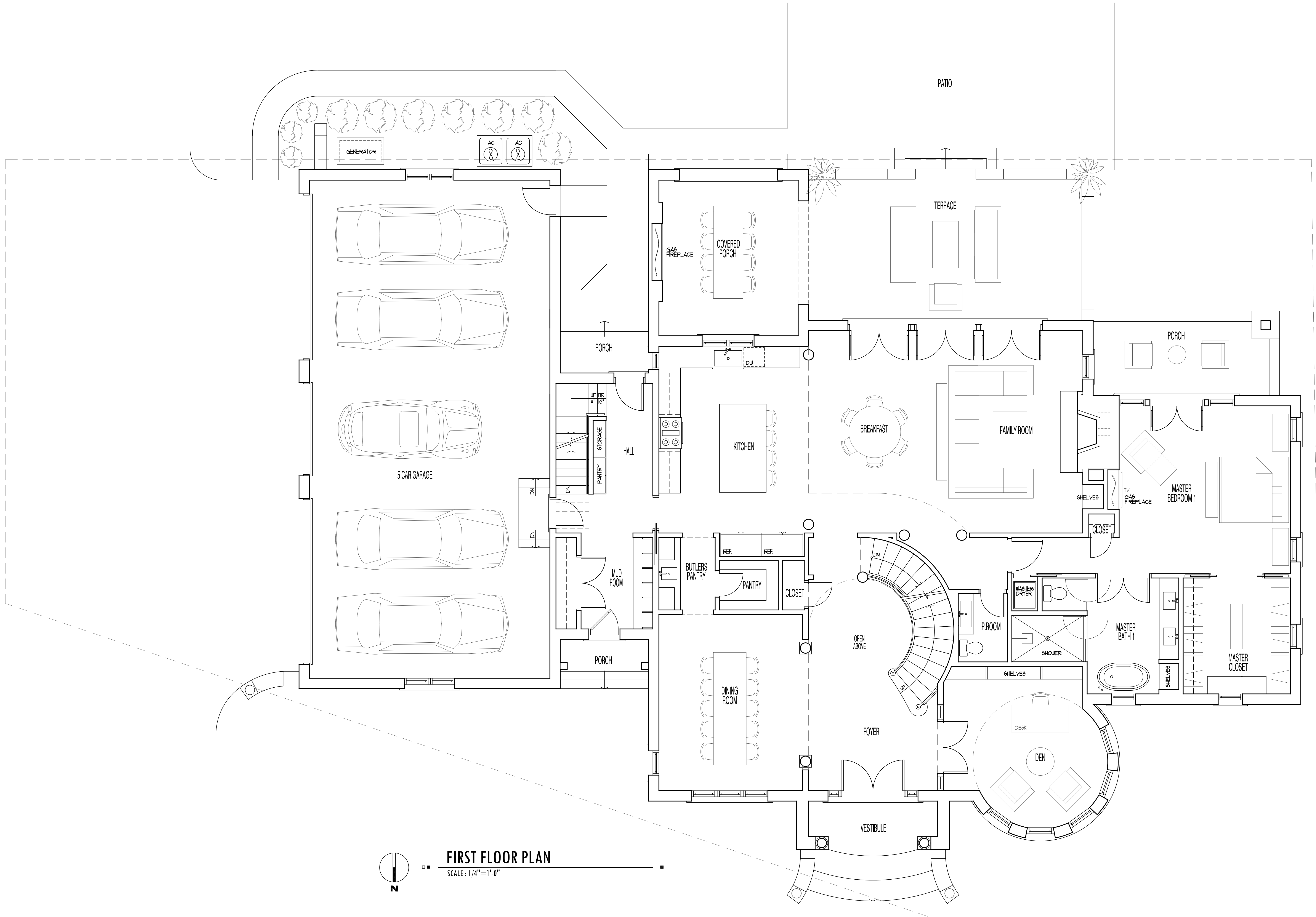
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SHEET NO.
A3
OF
5




FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

REVISION :
JOB NO. 25 624
DATE: 11.18.2025
DESIGN BY: M.S.
DRAWING BY: M.S.
INSPECTED BY: P.J.M.

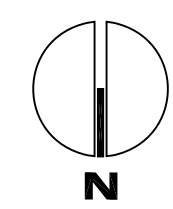
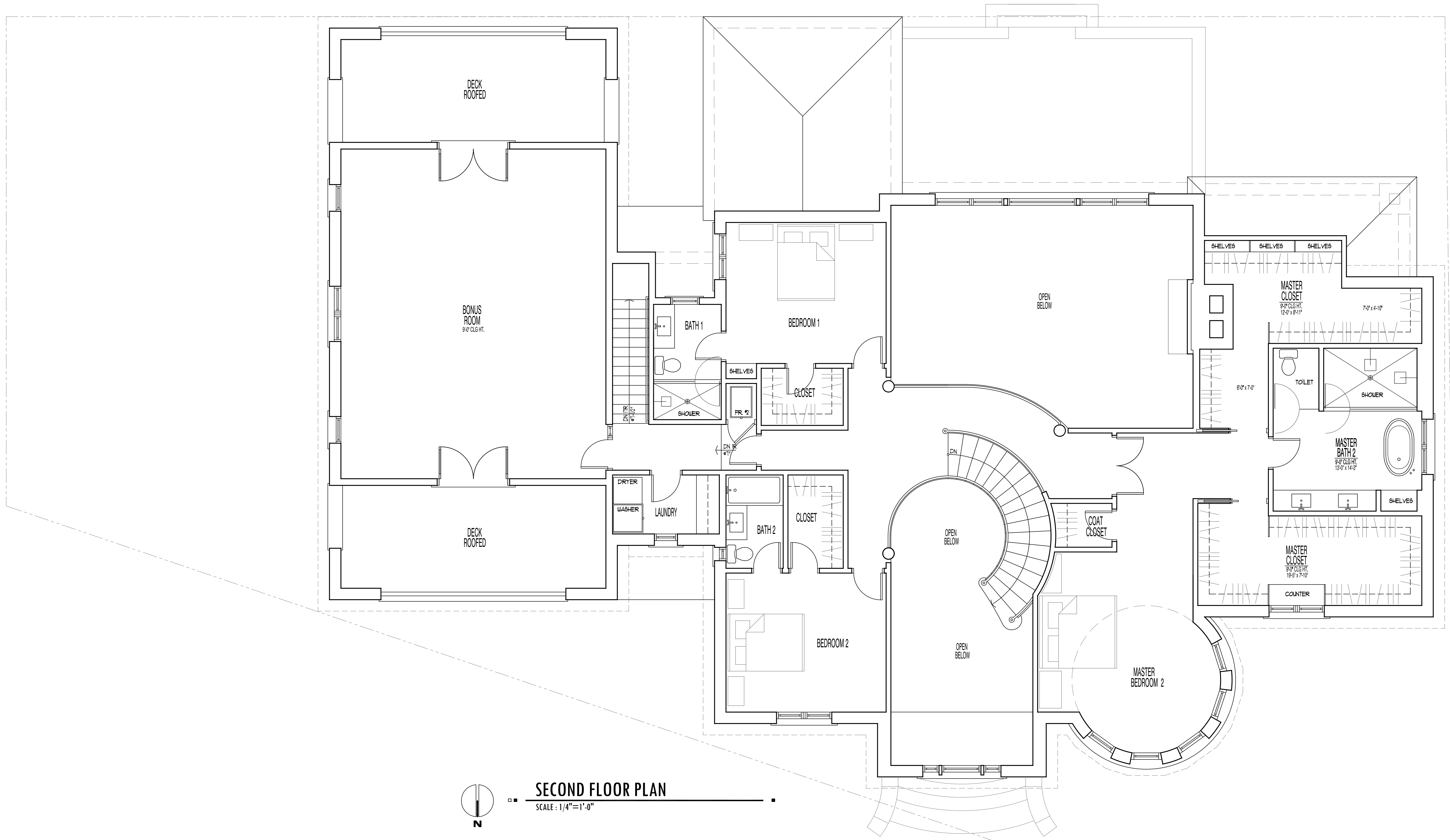
SINGLE FAMILY RESIDENCE
 NEW CONSTRUCTION
 3715 SPRING ROAD OAK BROOK, ILLINOIS

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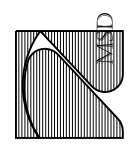
SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

REVISION :
JOB NO. 25 624
DATE: 11.18.2025
DESIGN BY: MS.
DRAWING BY: MS.
INSPECTED BY: PJM.

SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION
 3715 SPRING ROAD OAK BROOK, ILLINOIS

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SHEET NO.
A5
 OF
 5

TOPOGRAPHICAL SITE DEVELOPMENT PLAN

EXISTING GRADE	+XXXX.XX
EXISTING CONTOUR	-XXX
PROPOSED GRADE	+XXXX.XX
PROPOSED CONTOUR	-XXX
PROPOSED FLOW	---
TREE PRESERVATION	-X-
SILT FENCE & CONSTRUCTION SAFETY FENCE	-XX--XX-

KEY:	
T/F =	TOP OF FOUNDATION
P.T.F. =	PROPOSED TOP OF FOUNDATION

PARCEL 1 LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A MEASURED DISTANCE OF 721.71 FEET (721 FEET RECORD); THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 110.45 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 189.53 FEET TO THE CENTERLINE OF A PUBLIC ROAD KNOWN AS SPRING ROAD; THENCE SOUTH 74 DEGREES 30 MINUTES 14 SECONDS EAST ALONG THE CENTER LINE OF SAID SPRING ROAD A DISTANCE OF 189.67 FEET; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 132.47 FEET; THENCE SOUTH 87 DEGREES 59 MINUTES 25 SECONDS WEST, A DISTANCE OF 180.93 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

IMPERVIOUS DATA TABLE

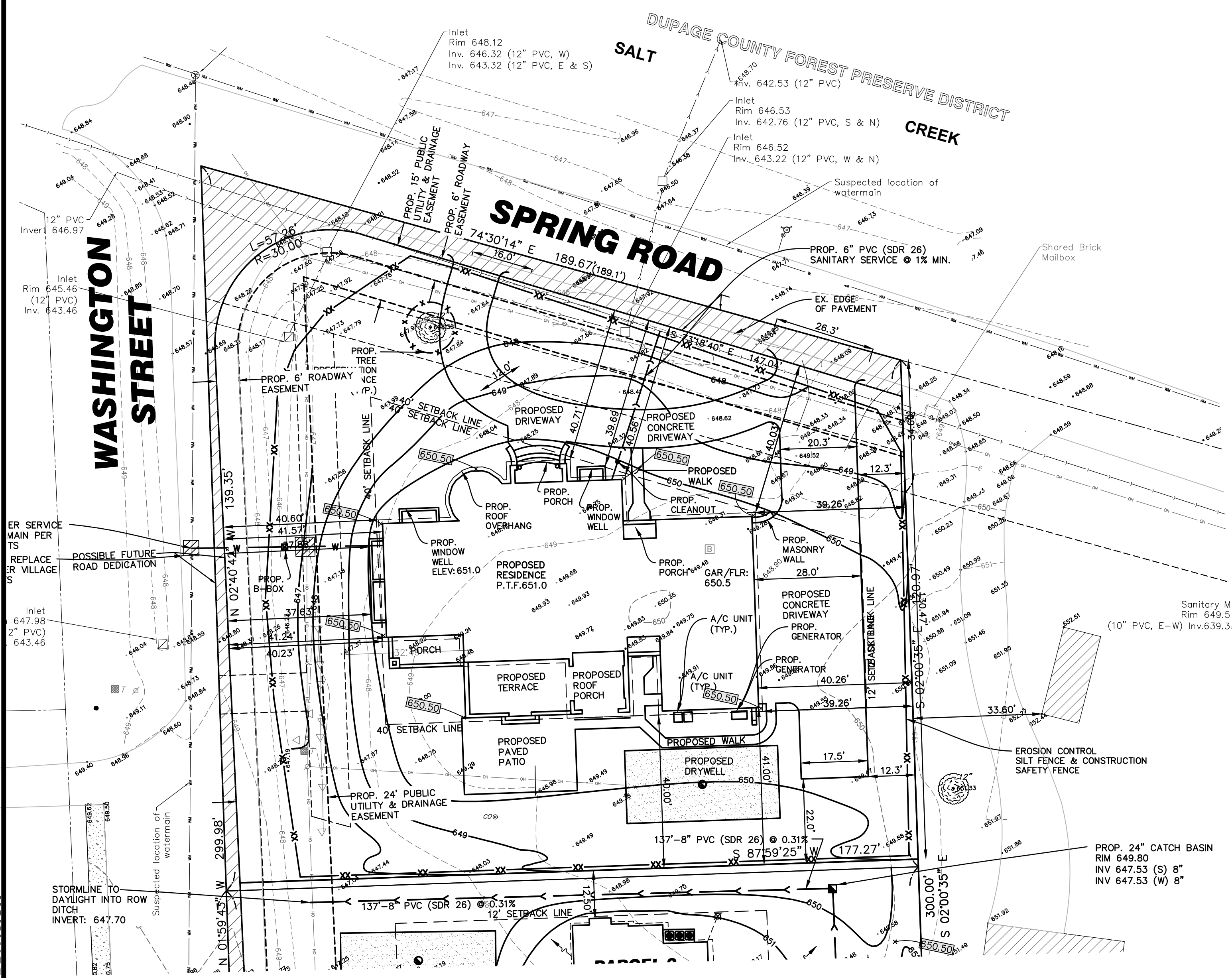
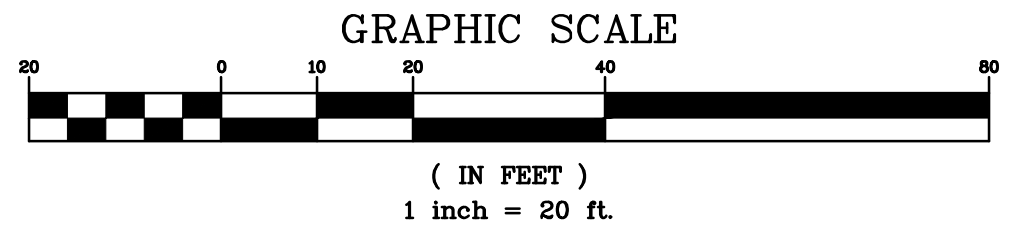
EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS
RESIDENCE & PATIO: 2,937 S.F.	RESIDENCE W/ROOF OVERHANG: 4,866 S.F.
DRIVEWAY: 2,680 S.F.	FRONT WALKS: 117 S.F.
TOTAL: 5,617 S.F.	FRONT PORCH: 49 S.F.
	TERRACE: 359 S.F.
	REAR PORCH: 132 S.F.
	PAVER PATIO: 590 S.F.
	WALKWAY REAR: 223 S.F.
	CONCRETE DRIVEWAY: 3,759 S.F.
	MASONRY WALL: 8 S.F.
	TOTAL: 10,103 S.F.

VCBMP REQUIREMENTS:

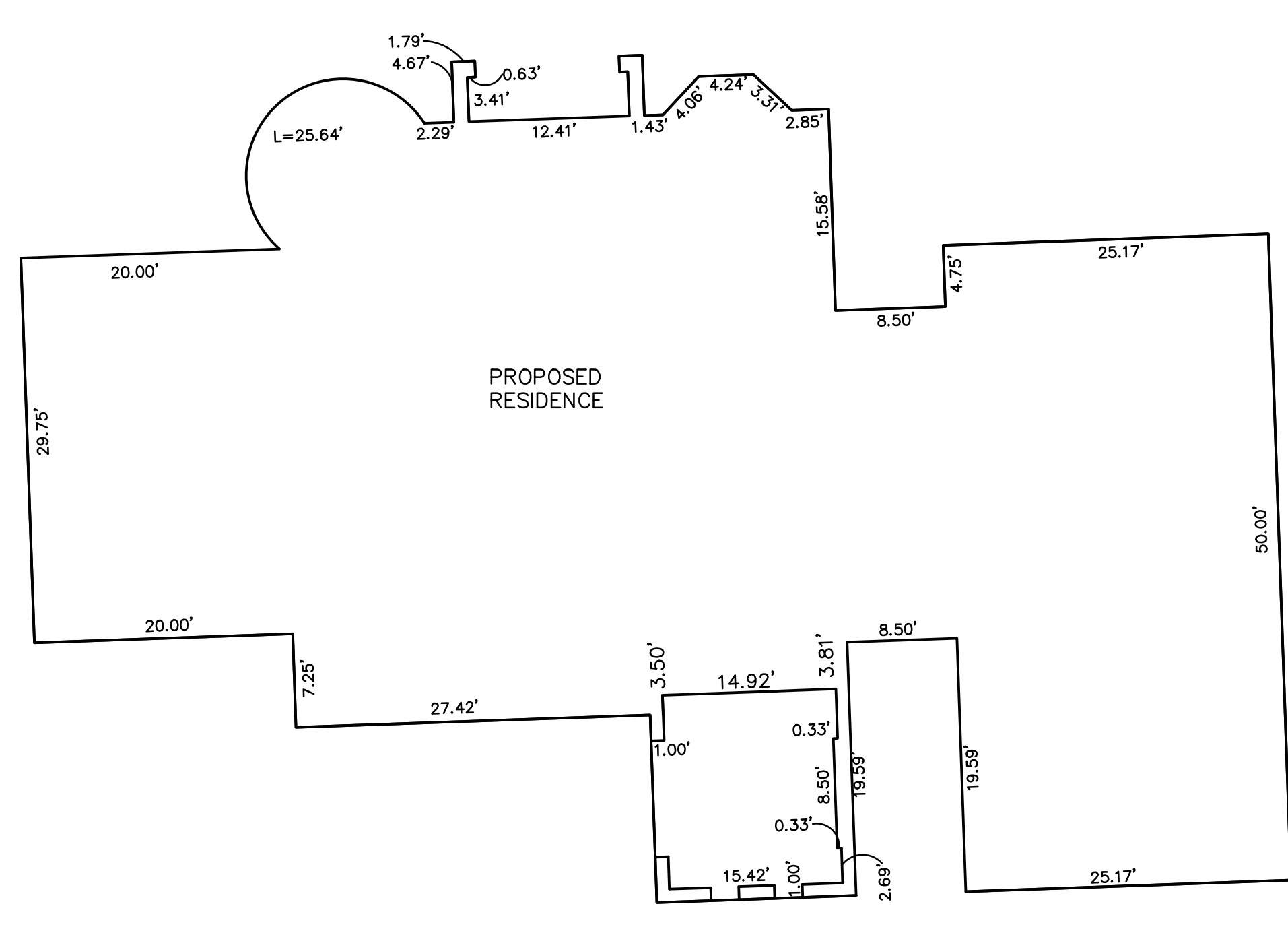
NET NEW IMPERVIOUS = 9,191 S.F. = 5,617 S.F. + 3,574 S.F.
 SINCE 9,191 S.F. > 2,500 S.F. A BMP IS REQUIRED FOR THE PROJECT

BMP CALCULATIONS:
 (1.25/12) X 9,191 S.F. = 957 CF STORAGE REQUIRED

BMP: 19' L X 40' W X 4' D X 36% AIR VOID = 1,094 CF
 1,094 CF > 957 CF



- DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE VILLAGE CODE OF OAK BROOK RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE VILLAGE.
- THE REMAINING HOLE CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL MUST BE BACKFILLED TO MEET EXISTING AND ADJOINING GRADES.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES. CONTRACTOR SHALL KEEP STREETS CLEAN.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED, EXCEPT THE PARKWAY WHICH SHALL BE RESTORED WITH TOPSOIL AND SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1.0" TYPE K COPPER SIZE ACCORDING TO VILLAGE REQUIREMENTS.
- SANITARY SERVICE SHALL BE 6" PVC (SDR26) @ 1.00% MIN.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING WHITE OAK LANE EDGE OF PAVEMENT. DEWATERING DISCHARGE MUST BE FILTERED BEFORE ENTERING SPRING ROAD R.O.W.
- CONSTRUCTION SCHEDULE:
 - SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - SPRING 2026
 - RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES. & EXISTING SWALES. - SPRING 2026
 - CONSTRUCT PROPOSED RESIDENCE & IMPROVEMENTS. - SPRING 2026
 - PREPARE AND SUBMIT RECORD DRAWINGS. - WINTER 2026
 - LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. - WINTER 2026
- CONTACT PERSON FOR SITE: MICHAEL SAHJ (630) 310-8668
- PARKING DATA: MAXIMUM CONTRACTOR VEHICLES: 4. PARKING SHALL BE ON THE SOUTH SIDE OF SPRING ROAD.
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE WEST OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITY LINES WITH INDIVIDUAL UTILITY COMPANIES.
- PUMPING SEDIMENT-LADEN WATER INTO ANY STORM SEWER FACILITY NOT DESIGNED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- IF THE SOIL STOCKPILE IS TO REMAIN IN PLACE FOR GREATER THAN THREE DAYS, THEN SOIL & SEDIMENT CONTROL MEASURES WILL BE PROVIDED.
- SOIL STOCKPILES SHALL NOT BE LEFT OVERNIGHT IN DITCHES OR WITHIN FLOODPLAINS.
- LAND DISTURBANCE ACTIVITIES IN STREAMS AND DITCHES SHALL BE AVOIDED WHERE POSSIBLE.
- ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- ANY DEVIATION FROM THIS APPROVED PLAN SHALL REQUIRE PRIOR WRITTEN APPROVAL FROM THE VILLAGE OF OAK BROOK.



FOUNDATION DETAIL
 SCALE: 1"=10'

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 ILLINOIS ONE-CALL SYSTEM

Jon P. Green, P.E.
 IL. P.E. NO. 062-052108
 Expires November 30, 2027

LANDSCAPE PLAN

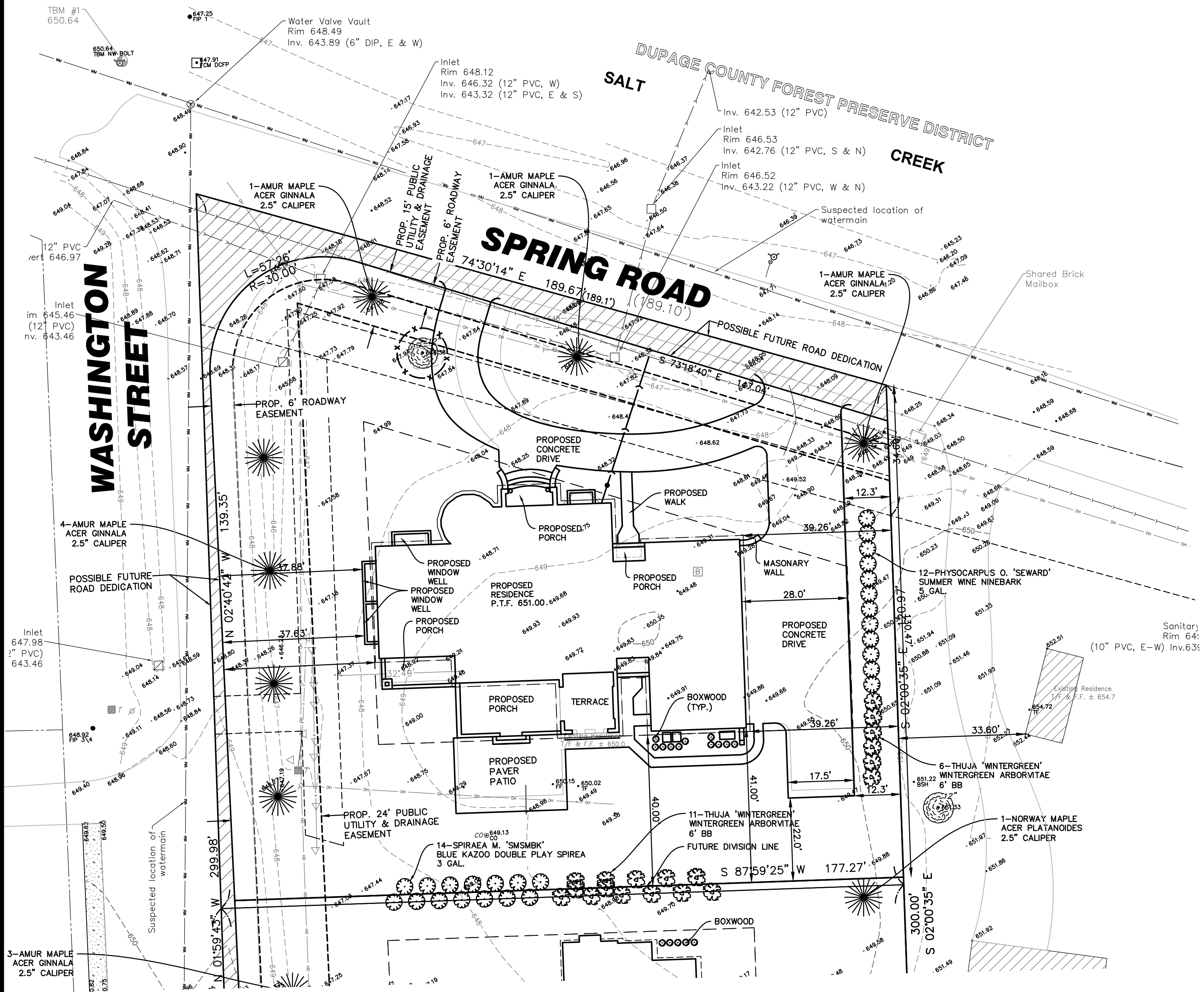
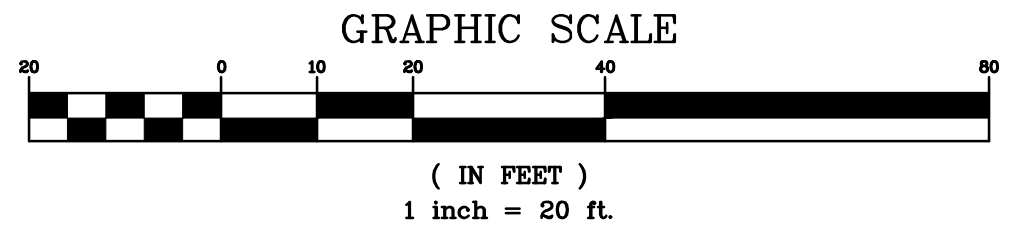
EXISTING GRADE	+XXXX.XX
EXISTING CONTOUR	-XXX-
PROPOSED GRADE	+XXXX.XX
PROPOSED CONTOUR	-XXX-
PROPOSED FLOW	-X-
TREE PRESERVATION	-X-
SILT FENCE & CONSTRUCTION SAFETY FENCE	-XX--XX-

KEY:	
T/F =	TOP OF FOUNDATION
P.T.F. =	PROPOSED TOP OF FOUNDATION

PARCEL 1 LEGAL DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 36 TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT 659.68 FEET WEST OF THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36; THENCE NORTH AND PARALLEL TO THE EAST LINE OF SECTION 36, A MEASURED DISTANCE OF 721.71 FEET (721 FEET RECORD); THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 110.45 FEET FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 189.53 FEET TO THE CENTERLINE OF A PUBLIC ROAD KNOWN AS SPRING ROAD; THENCE SOUTH 74 DEGREES 30 MINUTES 14 SECONDS EAST ALONG THE CENTER LINE OF SAID SPRING ROAD A DISTANCE OF 189.67 FEET; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 36, A DISTANCE OF 132.47 FEET; THENCE SOUTH 87 DEGREES 59 MINUTES 25 SECONDS WEST, A DISTANCE OF 180.93 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.



GENERAL NOTES:
Contractor is responsible for verification of underground utility lines and is responsible for any damage occurring as a product of his work.

Contractor shall maintain clear and open access to the vehicular and pedestrian entrances to and from the property during all periods of work.

Contractor is responsible for verification of all existing conditions in the field prior to bidding and construction and shall notify the Landscape Architect and/or Owner of any variances.

Contractor is responsible for acquisition of and payment for all permits, fees and inspections necessary for the proper execution of this work and for compliance with all codes applicable to this work.

Contractor shall protect the property and is directly responsible for all damages caused by his work and for daily removal of all trash and debris from his work area to the satisfaction of the Landscape Architect and/or the Owner.

Material quantities are shown only for the convenience of the Contractor. The Contractor is responsible for verification of all materials and supplies in sufficient quantity to complete the job per plan.

All work shall conform to American Nursery & Landscape Association 2004 edition of the American Standard for Nursery Stock, State of Illinois Horticultural Standards and local municipal requirements.

All plant material installation shall be as detailed on these Drawings.

LANDSCAPE PLANTING NOTES:

All pruning work shall be performed only with hand pruners.

All deciduous plant material shall be thin pruned to remove 1/4 interior branches, dead branches and broken branches. Pruning shall compliment the plants natural form. Absolutely no tip pruning is allowed, except for hedges as noted on the Drawing. Any plant that is tip pruned is subject to rejection by the Landscape Architect and/or Owner.

The Landscape Architect and/or Owner reserves the right to inspect trees and shrubs either at the place of growth or at the site prior to planting for compliance with requirements of variety, size and quality.

Planting beds shall be prepared with a 2" depth of mushroom compost and a 1" depth of calcined clay filled to an overall depth of 6"-9".

Prior to mulching, all individual trees, shrub beds and groundcover areas shall be treated with a pre-emergent herbicide, such as Snap-Shot®. All areas shall be free from weeds prior to herbicide application.

All shrub beds and individual proposed trees shall be mulched to a depth of 3" with finely shredded hardwood mulch.

All perennial planting beds shall be mulched to a depth of 2" with leaf compost. Mushroom compost may be substituted if leaf compost is unavailable.

Water trees, shrubs and groundcover beds within the first 12 hours of initial planting. Continue watering weekly or as needed until the end of the maintenance period.

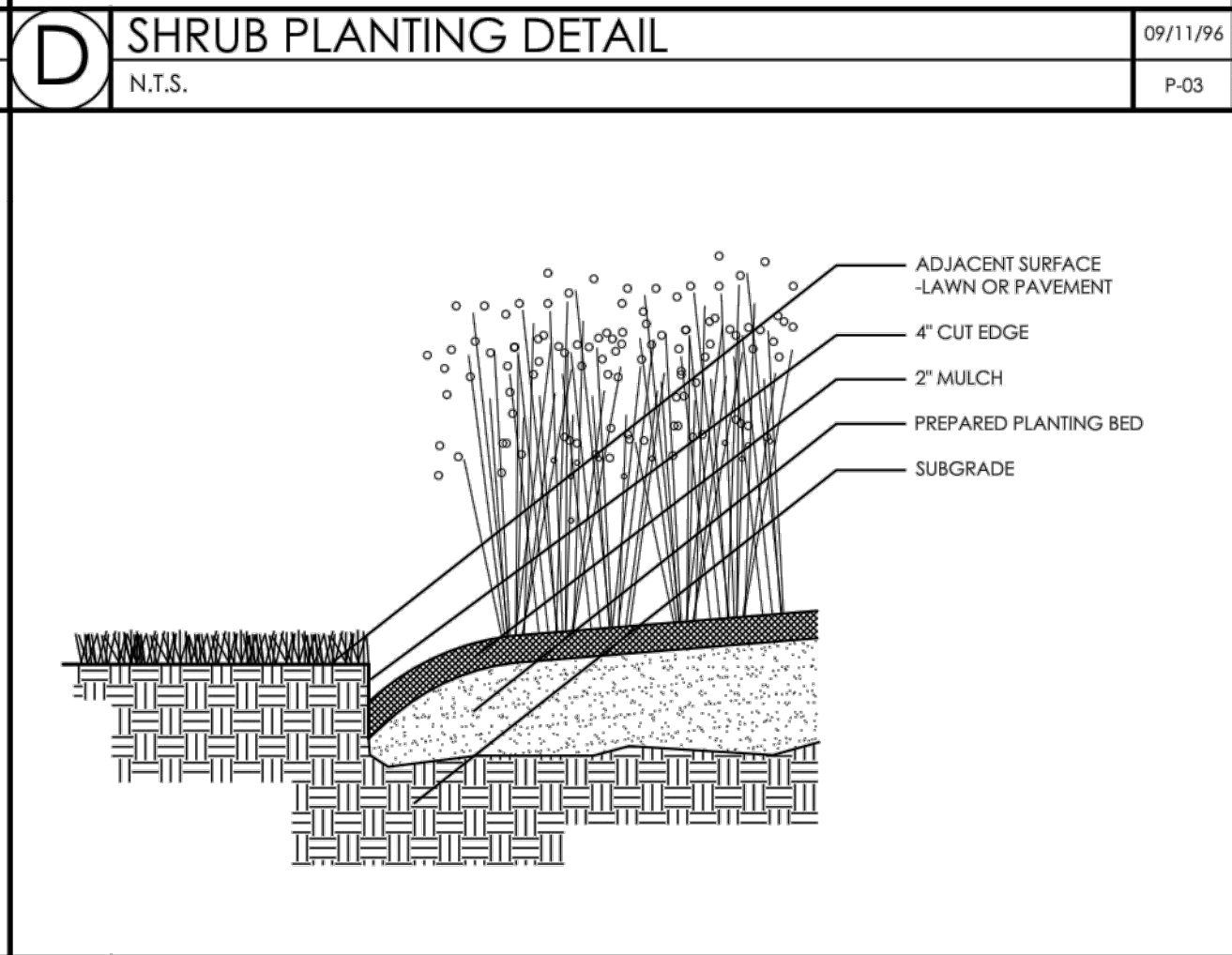
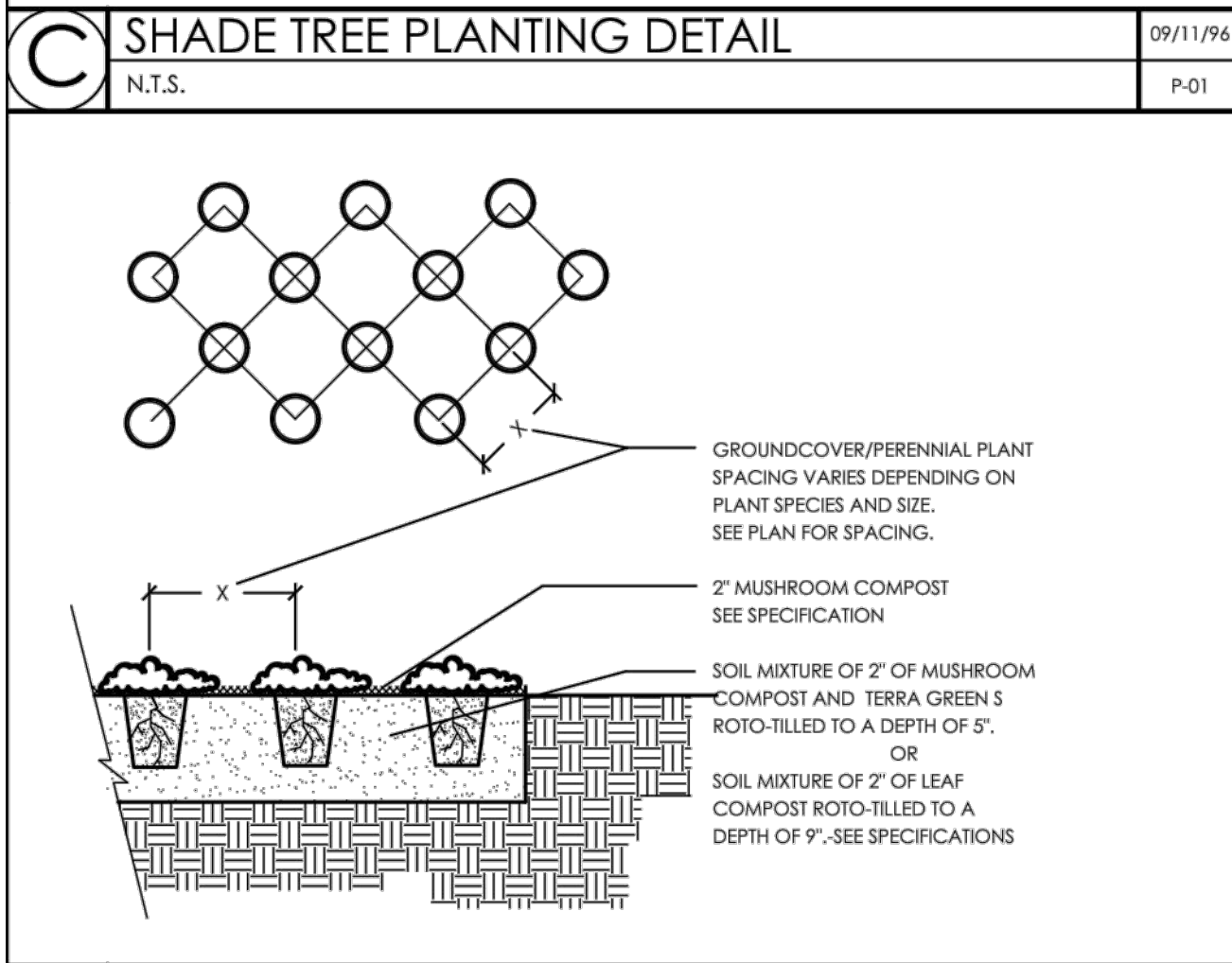
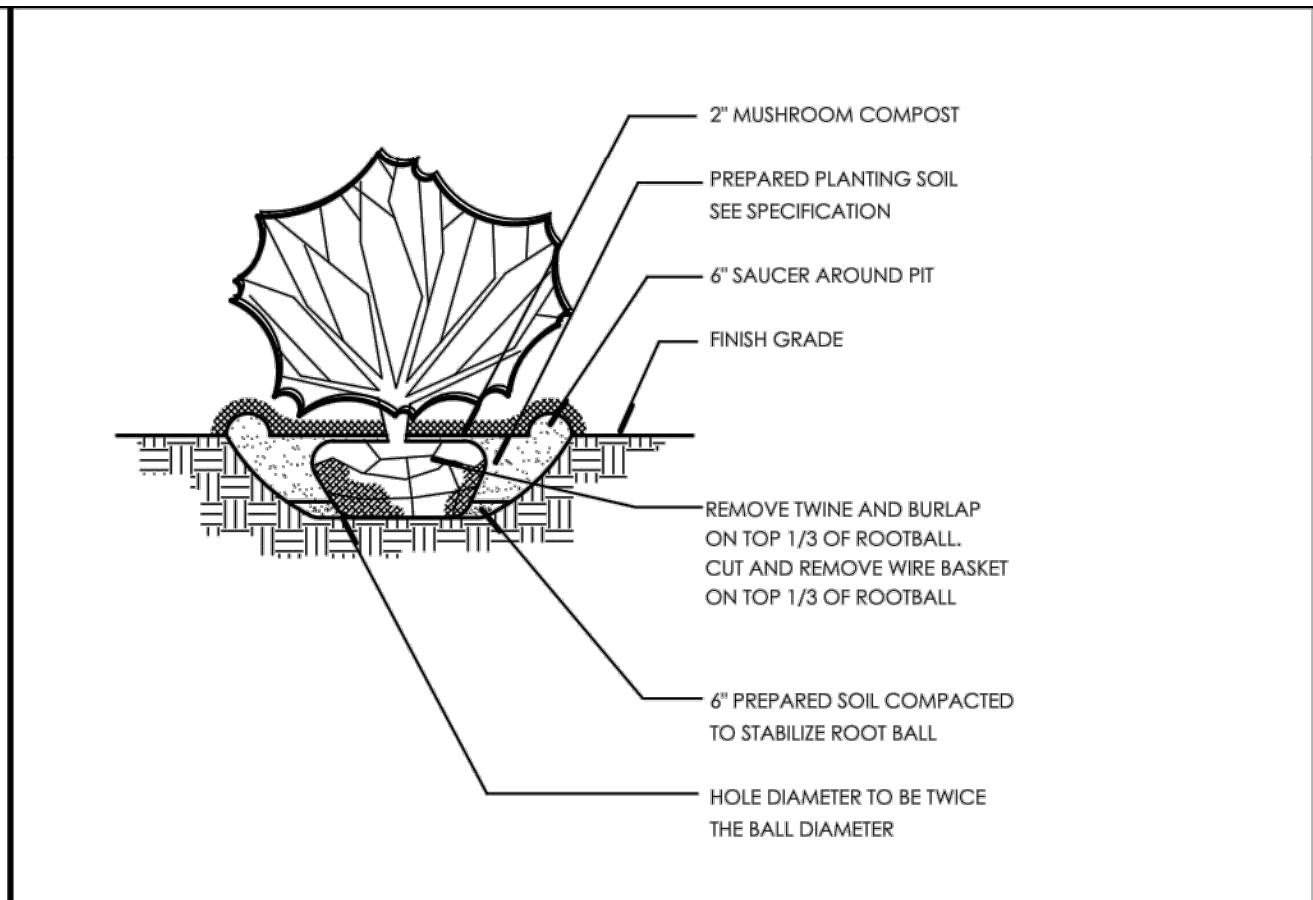
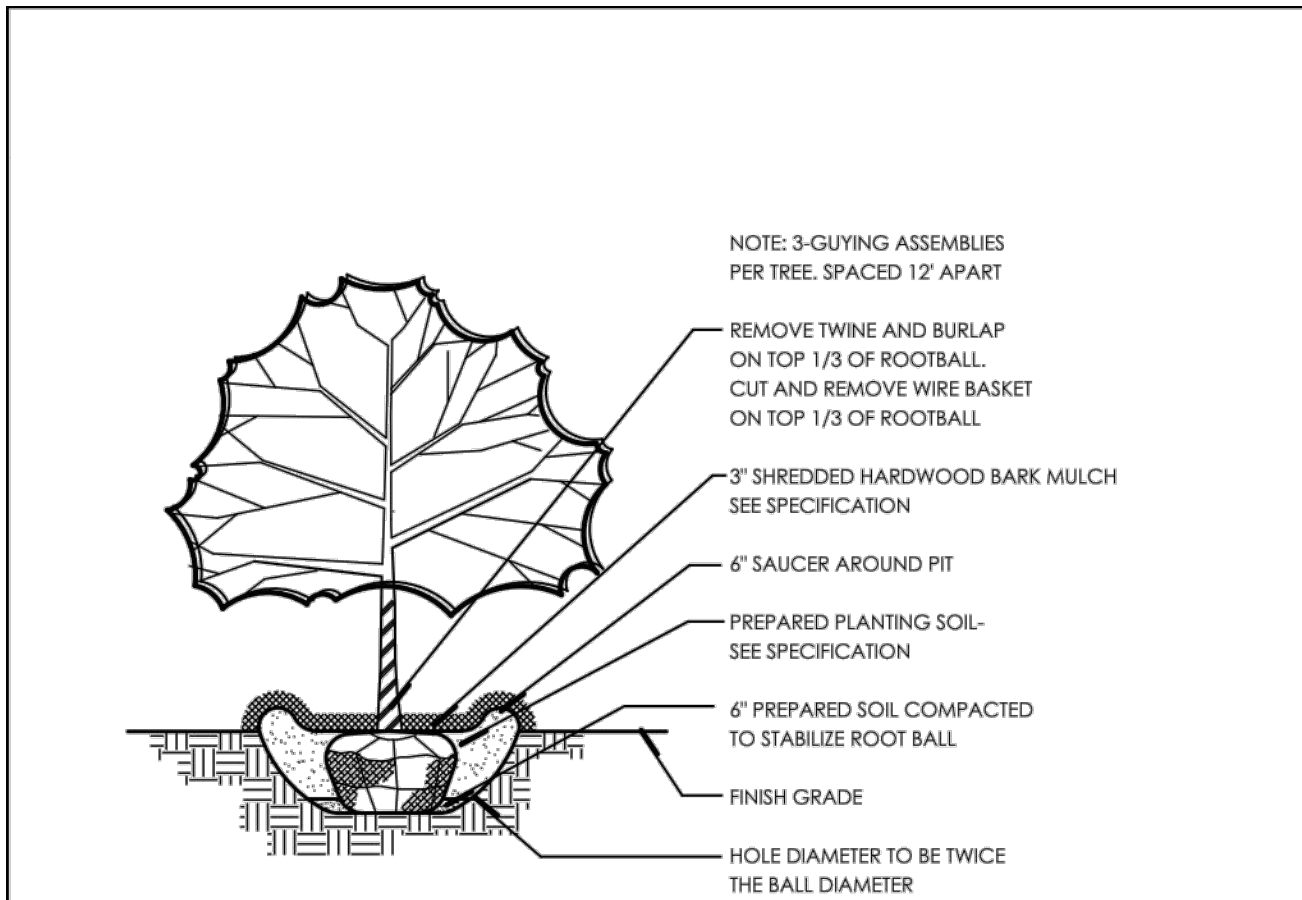
Sod shall be Kentucky Bluegrass and is required in all areas as noted on the Drawings.

Seed shall be IDOT 1A Salt Tolerant Lawn mixture of the previous year's crop with 0.5% or less weed seed and 1.75% or less crop seed, by weight. Seed shall be dry and free of mold and delivered to the site in it's original packaging.

Contractor shall maintain all planting under the contracted work for a period of no less than 90 days or until establishment of seeding, whichever is longer.

Maintenance operations shall include pruning, cultivating, weeding, resetting settled plants, application of pesticides if required and application of fertilizer as needed to insure proper establishment of planting and lawns.

NOTE:
1. ALL LAWN AREA SHALL BE RESTORED WITH 4" TOPSOIL AND SOD.



C SHADE TREE PLANTING DETAIL 09/11/96 P-01 N.T.S.

D SHRUB PLANTING DETAIL 09/11/96 P-03 N.T.S.

E PERENNIAL PLANTING DETAIL 01/25/96 P-04 N.T.S.

F SPADED PLANTING BED EDGE XX/XX/XX P-04.2 N.T.S.

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JULIE ILLINOIS ONE-CALL SYSTEM

PREPARED FOR: SEIBUILDERS	PROFESSIONAL DESIGN FIRM NUMBER: 184.001186
DRAWN BY: B.L. CHECKED BY: J.G. APPROVED BY: J.G.	ENGINEERING RESOURCE ASSOCIATES 35701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555 PHONE (630) 393-3060 FAX (630) 393-2152
10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6099	2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902
PREPARED FOR: SEI BUILDERS, INC.	TITLE: LANDSCAPE PLAN
17W300 22ND STREET, SUITE 200	3715 SPRING ROAD
OAKBROOK TERRACE, IL 60181	OAKBROOK, ILLINOIS
SCALE: 1"=20'	DATE: 04/29/2026
JOB NO: 161107	SHEET 2 OF 3

I:\PROJETS\SEIBUILDERS\161107\00_3715SpringRoadOakbrook\CADD\161107.Lot 1_Site Plan2026-04-29.dwg Updated by: bierlich 4/29/2026